Agenda
TOWN OF BLUE RIVER
PLANNING AND ZONING COMMISSION REGULAR MEETING
May 3, 2022
0110 Whispering Pines, Blue River, CO 80424

I. Call to Order
II. Roll Call
III. Approval of Minutes-February 1, 2022
IV. Public Hearings
V. Project Reviews
   a. 0830 Whispering Pines-New Construction
   b.
VI. Next Meeting May 3, 2022

Minutes

TOWN OF BLUE RIVER

PLANNING AND ZONING COMMISSION REGULAR MEETING

February 1, 2022

0110 Whispering Pines, Blue River, CO 80424

The meeting was held via Zoom.

I. Call to Order

- Chair Johnson called the regular meeting of the Planning and Zoning Commission to order at 6:03 p.m.

II. Roll Call

- Travis Beck
- Tim Johnson
- Bevan Hardy
- Jonathan Heckman-stated unable to join via link.
- Doug O'Brien
- Ben Stuckey
- Troy Watts

Also present: Town Manager Michelle Eddy

III. Approval of Minutes-December 7, 2021

- Beck moved and O'Brien seconded to approve the minutes of December 7, 2021. Motion passed.

IV. Public Hearings

V. Project Reviews

- **6565 Hwy 9 Two Car Garage**
  - Manager Eddy reviewed the project noting it meets the requirements based on the plan review report. The architect was present to answer questions.
  - Discussion about the grading and if there was a need for extra material. The architect explained there will be change in grade and some fill for the driveway. Most of it will be cut from the backside.
  - Watts moved and Beck seconded to approve the two-car garage at 6565 Hwy 9. Motion passed.

There being no further business before the Commission, Beck moved and Watts seconded to adjourn the meeting at 6:17 p.m. Motion passed unanimously.

Next meeting scheduled for Tuesday, March 1, 2022

Respectfully Submitted:

_____

Michelle Eddy, Town Clerk

Building Permit Application

Email to: info@townofblueriver.org
Questions? Call (970) 547-0545 ext. 1

Lot Number: 31 A **Subdivision:** TIMBER CREEK ESTATES
Blue River Physical Address: 830 WHISPERING PINES CIR.

Homeowner Information:
Name: KIM & JOHN SELSTROM
Mailing Address: 6907 DAWLEY CT., SPRINGFIELD, VA 22152
Phone: (703) 866-4742
Email: john.selstrom@outlook.com

Contractor Information
Company Name: TRILOGY PARTNERS, LLC
Contact Name: MICHAEL RATH
Mailing Address: P.O. Box 5636, BRECKENRIDGE, CO 80424
Phone: (970) 453-2230
Email: michaelr@trilogybuilds.com
Contractor Registration #:
***Please note a Town of Blue River Business License is required for all businesses to conduct business in the Town of Blue River including contractors, sub-contractors and architects. ***

Description of Project:
SINGLE FAMILY HOME

Distance to Property Line	Type of Heat: IN-FLOOR RADIANT	Construction Type: WOOD
North: 70'-9"	Roof: COMP. SHINGLE / METAL	Building Height: 34.85'
South: 38'-6"	Exterior Walls: WOOD / STONE	No. Stories: 3
East: 21'-2"	Interior Walls: DRYWALL	Total # Bedrooms: 3
West: 78'-6" 3,708	Basement Fin. Sq.Ft.: —	Total # Bathrooms: 4 1/2
New Addition/Res. Sq.Ft.: ~~[illegible]~~	Main Level Sq.Ft.: ~~[illegible]~~ 1,782	Septic or Sewer: SEWER
Garage Sq.Ft.: 774	2nd Level Sq.Ft.: 1,809	
Total Square footage: 4,482	3rd Level Sq.Ft.: 891	

SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL, PLUMBING, HEATING, VENTILLATION WORK, & FIREPLACES. THIS PERMIT BECOMES NULL AND VOID IF CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN ____ OR IF CONSTRUCTION IS SUSPENDED OR ABANDONED FOR A PERIOR OF ___ AT ANY TIME AFTER WORK IS COMMENCED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINDED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. I AGREE TO COMPLY WITH ALL TOWN ORDINANCES AND STATE LAWS REGARDING BUILDING CONSTRUCTION AND TO BUILD ACCORDING TO THE APPROVED PLANS. THE GRANT OF A PERMIT DOES NOT PRESUMED TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

Signature of Owner or Contractor: MRath BY JBox Date: 4-7-22

Submittal Requirements

****ALL Submittals Must be Electronic****
Emailed to: info@townofblueriver.org

Planning & Zoning Review Submittal Requirements
****Please indicate via check box item included as well as page number in submitted packet.**

Completed √	Item	Description	Page #
✓	**Site Plan**	Scale: 1" = 10'; May appear on a single sight plan. IF on a separate page, please indicate the page.	2
✓		Property Boundaries	2
✓		Building Envelope with setbacks	2
✓		Proposed Buildings	2
✓		Structures (existing & proposed)	2
✓		Driveway & Grades	2
		A wetlands delineation & Stream crossing structures where applicable.	N/A
✓		Topographic survey, prepared and stamped by a licensed surveyor, indicating site contours at 2' intervals, easements, and significant natural features such as rock outcroppings, drainages and mature tree stands.	11
✓		Transformer & vault location (if installed by owner or existing)	2
		Well location; septic if applicable	N/A
✓		Snow storage areas and calculations	2
✓		Major site improvements	2
✓		Existing & proposed grading & drainage	2
✓	**Landscaping Plan**	*May be included in the site plan**	3
✓		Landscaping must indicate tree removal for defensible space requirement; any trees 6" or more primarily noting the removal of any ponderosa pines or large trees. Clear cutting of a site is not allowed.	3
✓		Indicate the percentage of trees removed and revegetation to be conducted.	3
		Upon completion of the construction project, all land must be raked and	

		reseeded with native seed prior to issuance of CO. in cases of completion during snow coverage and/or winter, CO may be issued with conditions for completions within 60 days of the last snow and a deposit.	
✓		Any major structures (retaining walls; fences; landscaping rocks) must be indicated in detail on plans in conformance with the design regulations.	3
✓		Indicating building walls, floors and roof relative to the site, including existing and proposed grades, retaining wall and proposed site improvements.	3
✓	**Floor Plans**	Scale 1/8" = 1'	4-6
		Indicate the general layout of all rooms, approximate size, and total square footage of enclosed space for each floor level.	
✓	**Exterior Elevations**	Scale same as floor plans	8-9
✓		Detail to indicate the architectural character of the residence, fenestration and existing and proposed grades. Elevations must include a description of exterior materials and colors.	8-10
✓	**Roof Plan**	Scale same as floor plans	7
✓		Indicate the proposed roof pitch, overhang lengths, flue locations, roofing materials and elevations of major ridge lines and all eave lines.	7
✓	**Materials Sheet**	Display materials to be used. Color renderings are suggested as well. In cases of additions, if matching the existing structure, photos of current home.	8-10

Payment Receipt Confirmation

Your payment was successfully processed.

Transaction Summary

Description	Amount
Town of Blue River Business License Transaction	$50.00
Service Fee	$1.89
TOTAL	$51.89

Transaction Detail

The following amounts will be remitted back to the agency.

SKU	Description	Unit Price	Quantity	Amount
Blue River Business License	Blue River Business License	$50.00	1	$50.00
	Service Fee	$1.89		$1.89
				$51.89

This online service is provided by a 3rd party working in partnership with the state of Colorado. The price includes a service fee of $.75 plus 2.25% of the order total for credit card payments or $1 for electronic check payments.

Customer Information

Customer Name Marc Hogan
Company Name BHH Partners
Local Reference ID bf273757-c95c-4c93-9a97-191fc1ba83c7
Receipt Date 4/8/2022
Receipt Time 09:05:14 AM MDT

Payment Information

Payment Type Credit Card
Credit Card Type VISA
Credit Card Number ******9910
Order ID 185673362
Billing Name Marc Hogan

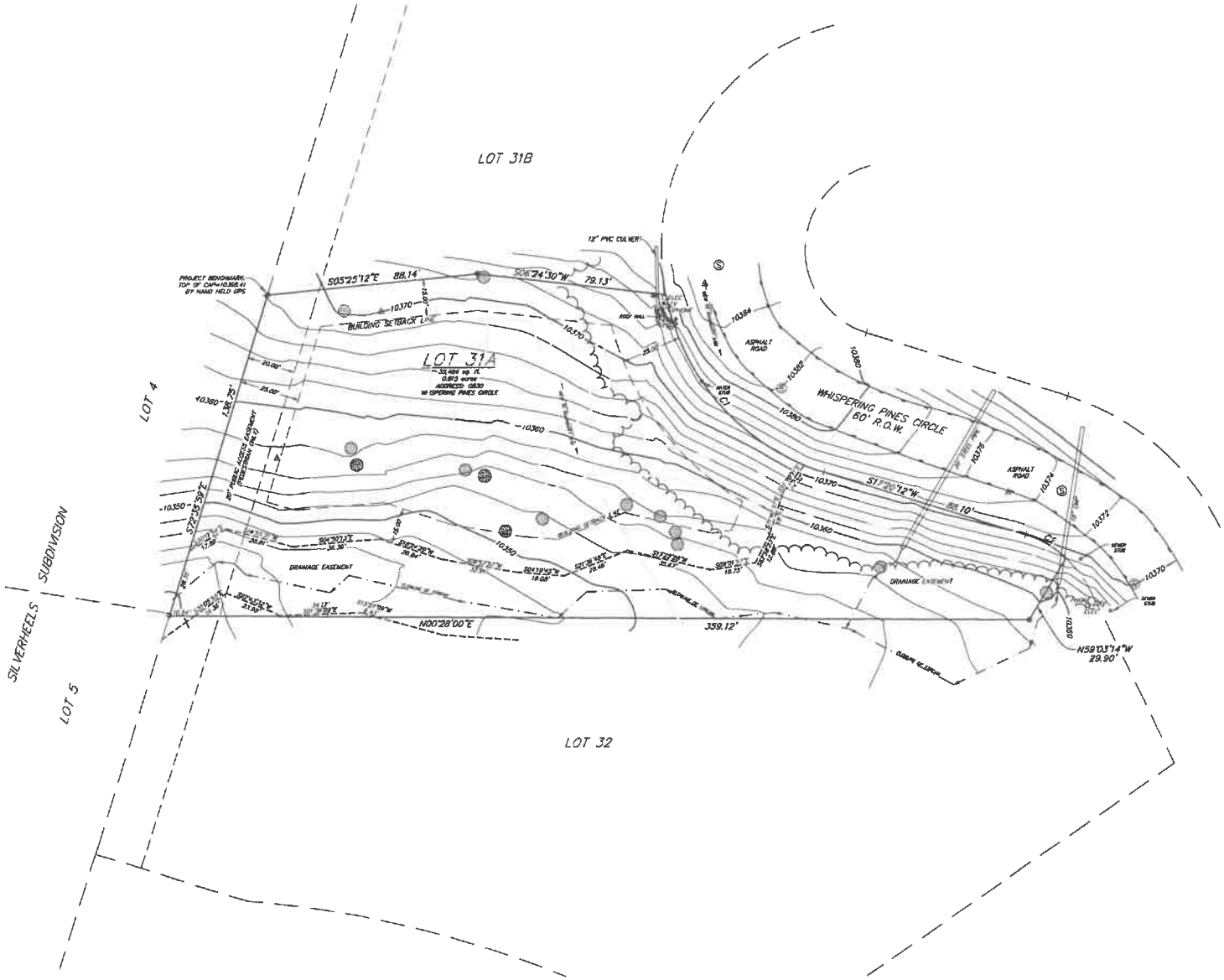
Billing Information

Billing Address 160 Adams Ave
Billing City, State Breckenridge, CO
ZIP/Postal Code 80424
Country US
Phone Number 9704536880
This receipt has been emailed to the address below.
Email Address mhogan@bhhpartners.com

A TOPOGRAPHIC MAP OF

LOT 31A, TIMBER CREEK ESTATES FILING 3

TOWN OF BLUE RIVER, SUMMIT COUNTY, COLORADO



GRAPHIC SCALE

(IN FEET)
1 inch = 20 ft.

DATE OF FIELD SURVEY: 11/08/10
CONTOUR INTERVAL=2 FEET

LEGEND

- FOUND REBAR & ALUMINUM CAP (BURNETTE)
- FOUND REBAR & PLASTIC CAP (YELLOW)
- SEWER MANHOLE
- CURB STOP (WATER SERVICE)
- SEWER SERVICE STUB
- UTILITY PEDESTAL
- RANDOM SURVEY CONTROL POINT
- ORANGE PVC (GAS)
- BOULDER
- EDGE OF TREES

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD
C1	103.17'	86.00'	61°34'20"	S48°07'22"W	98.27'
C2	18.71'	45.00'	23°50'39"	S39°32'52"W	18.58'

COLORADO REGISTERED PROFESSIONAL LAND SURVEYOR
RICHARD R. JONES
26292

Drawn RRJ	Dwg 206861P	Project 20686
Checked RRJ	Date 12/08/10	Sheet 1 of 1

RANGE WEST INC.
ENGINEERS & SURVEYORS
P.O. Box 589
Silverthorne, CO 80498 970-468-6281

KIM'S WAY-SELSTROM RESIDENCE

GENERAL NOTES

1) COPYRIGHT:
All plans, details, and concepts shown in these drawings are the exclusive property of BHH Partners, Planners and Architects, A.I.A./P.C. and shall not be used, disclosed, or reproduced for any purpose whatsoever without the Architect's written permission.

2) CODES:
This project is governed by the applicable building code as adopted by the jurisdiction of record in Colorado. Code compliance is mandatory. The drawings and specifications shall not permit work that does not conform to these codes. The General Contractor and Subcontractors shall be responsible for satisfying all applicable codes and obtaining all permits and required approvals. Building areas are shown for code purposes only and shall be recalculated for any other purposes.

3) FIELD VERIFICATION:
Verify all dimensions, conditions, and utility locations on the job site prior to beginning any work or ordering any materials. Notify Architect of any conflicts or discrepancies in the drawings immediately.

4) DIMENSIONS:
Written dimensions always take precedence over scaled dimensions. DO NOT SCALE DRAWINGS. Verify all dimensions shown prior to beginning any work and notify Architect of any conflicts or discrepancies for interpretation or clarification. Plan dimensions are to the face of framing members. face of wood framing or face of concrete walls unless otherwise noted. Section or elevation dimensions are to top of concrete, top of plywood, or top of wall plates or beams unless otherwise noted.

5) DISCREPANCIES:
The Owner has requested the Architect to provide limited architectural and engineering services. In the event additional details or guidance is needed by the Contractor for construction of any aspect of this project, he shall immediately notify the Architect. Failure to give simple notice shall relieve the Architect of responsibility. On our crossed in areas of discrepancy until all such discrepancies have been fully resolved with written direction from the Architect.

6) DUTY OF COOPERATION:
Release of these plans contemplates further cooperation among the Owner, his Contractor, and the Architect. Design and our direction are complete. Although the Architect and his Consultants have performed their services with due care and diligence. they cannot guarantee perfection. Communication is imperfect, and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the Architect. Failure to notify the Architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the Architect shall relieve the Architect from responsibility for all consequences.

7) CHANGES TO THE WORK:
Any items described herein that impact project budget or time shall be requested from the Contractor via a written change order request prior to work work. Performance of such work without approval by change order indicates General Contractor's acknowledgment of no increase in contract sum or time. Changes from the plans or specifications made without consent of the Architect are unauthorized and shall relieve the Architect of responsibility for any and all consequences resulting from such changes.

8) WORKMANSHIP:
It is the intent and meaning of these drawings that the Contractor and each Subcontractor provide all labor, materials, transportation, supplies, equipment, etc., to obtain a complete job within the recognized standards of the industry.

9) SUBSTITUTIONS:
Substitution of "equal" products will be acceptable with Architect's written approval. See specifications.

10) CONSTRUCTION SAFETY:
These drawings do not include the necessary components for construction safety. The General Contractor shall provide for the safety, care of visitors and adjacent properties during construction, and shall comply with state and federal safety regulations.

11) EXCAVATION PROCEDURES:
Upon completion of any excavation, the Owner shall retain a soils engineer to inspect the subsurface conditions in order to determine the adequacy of foundation design. See specifications. CONTRACTOR SHALL NOT POUR ANY CONCRETE UNTIL APPROVAL IS OBTAINED FROM SOILS ENGINEER.

12) FIELD CUTTING OF STRUCTURAL MEMBERS:
The General Contractor and Subcontractors shall field coordinate and obtain approval from Engineer before any cutting, notching or drilling of any structural members, steel framing, or any other structural elements which may affect the structural integrity of the building. Refer to the appropriate Code Requirements, manufacturer's or supplier's instructions, and structural drawings for additional requirements.

13) WEATHER CONDITIONS:
The Owner has been advised that due to harsh winter conditions, roof and deck surfaces must be established reasonably free of ice and snow to secure minimal problems with these surfaces. All roofing, roofing membranes, and waterproofing of all be approved in writing by product manufacturer (W.R. Grace for Blueboss, etc.) prior to proceeding with any work. Failure to provide these written approvals removes all responsibility for the work from the Architect.

14) BUILDING AREA
Building areas are shown for code purposes only and shall be recalculated for any other use.

15) PROJECT STAKING
The general contractor shall verify all existing grades and stake all building corners and the driveway location for Owner/Architect and jurisdiction approval prior to beginning any site clearing.

16) SITE DISTURBANCE
It is the responsibility of the contractor to protect the existing trees to remain and adjacent properties from damage during construction. Provide protective fencing throughout construction.

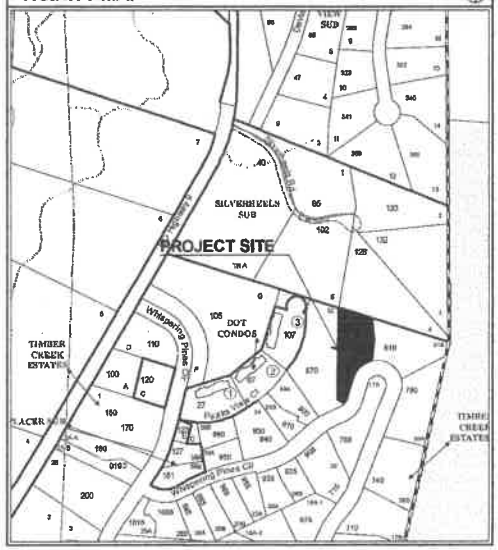
17) PROJECT GRADES
The general contractor shall check and verify all grades including paved area slopes prior to pouring any foundations. Survey work should be verified in detail. See numbers 6 and 8.

18) EXTERIOR MATERIAL MOCK UP
The General Contractor shall provide a mock up of all exterior materials for review by the Owner. This mock up shall be provided and signed off in writing prior to any exterior stain or exterior finish work. The sample shall include fascia, trim, window cladding and all other exterior finishes including a 3'-0"x3'-0" (min) sample of exterior stonework if applicable. This mock up shall be retained on site until the final punch.

19) 3D MODELING
This project has been digitally modeled in 3d software. The digital model is provided for reference purposes only. Transmission of digital model files constitutes a warranty by the party transmitting files to the party receiving files that the transmitting party is the copyright owner of the digital data. Unless otherwise agreed in writing, any use of, transmission of, or reliance on the model is at the receiving party's risk. the contractor shall notify the architect of conflicts or coordination issues between the architect documents and digital mo

VIEW FROM SOUTHWEST

VICINITY MAP



AREA CALCULATIONS

	UNFINISHED	FINISHED	TOTAL
LOWER	862 S.F.	920 S.F.	1,782 S.F.
MAIN	00 S.F.	1,909 S.F.	1,909 S.F.
UPPER	00 S.F.	891 S.F.	891 S.F.
	862 S.F.	3,620 S.F.	4,482 S.F.

NOTE: SQUARE FOOTAGES ARE CALCULATED FOR CODE PURPOSES ONLY AND SHOULD BE RECALCULATED FOR ANY OTHER PURPOSES .

FINISHED FLOOR ELEVS.

	U.S.G.S.	ARCHITECTURAL
LOWER	10,362'	100'-0"
MAIN	10,374'	112'-0"
UPPER	10,384'	122'-0"

LEGAL DESCRIPTION

LOT 31A
FILING #3
TIMBER CREEK ESTATES

39,694 SQ. FT. /0.910 ACRES

PHYSICAL ADDRESS:
890 WHISPERING PINES CIRCLE
BLUE RIVER, COLORADO

SHEET INDEX

PRELIMINARY
NOT FOR
CONSTRUCTION

REVISIONS:

JOB NO: 11038
DATE: 03-25-22
DRAWN BY: T.SHAFFER
CHECKED BY: N.HOGAN

ISSUED FOR:
SKETCH PLAN REVIEW
03-25-22

bhh Partners
P.O BOX 931 100 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-8880

KIM'S WAY - SELSTROM RESIDENCE
890 WHISPERING PINES CIRCLE, LOT 31A TIMBER CREEK ESTATES BLUE RIVER, COLORADO

SHEET NUMBER:
T1.1
TITLE SHEET, GENERAL NOTES, SCHEDULES AND INFORMATION

OWNER:
KIM and JOHN SELSTROM
8007 DANLEY COURT
SPRINGFIELD, VA. 22152
(703) 866-4742 home
john.selstrom@cox.net

ARCHITECT:
BHH Partners, Planners and Architects
100 EAST ADAMS STREET
P. O. BOX 931
BRECKENRIDGE, CO 80424
(970) 453-8880 (970) 453-8886 FAX
nshelton@bhhpartners.com

CONTRACTOR:
TROLLOY PARTNERS, LLC
P.O. BOX 3838
BRECKENRIDGE, CO 80424
(970) 453-2250
michael@troolleybuilds.com

STRUCT'L. ENGINEER:
ENGINEERING DESIGN WORKS
1180 HILTOP PKWY., UNIT 208A
STEAMBOAT SPRINGS, CO 80487
(970) 879-6880
(970) 879-8905 FAX
schs@springpipe.com

SURVEYOR:
RANGE WEST SURVEYORS
PO BOX 548
SILVERTHORNE, COLORADO 80498
(970) 468-6281

SOILS ENGINEER:
THEOBALD ENGINEERING INC
CONSTRUCTION SERVICES
ROB THEOBALD
1002 AIRPORT ROAD
BRECKENRIDGE, CO 80424
(970) 453-7979 WORK AND CELL

REVEGETATION NOTES

REVEGETATE ALL DISTURBED AREAS ON THE SITE WITH:

SHORT DRY GRASS MIX @2 LBS/1000 SF:

HARD FESCUE	30%
CREEPING RED FESCUE	30%
SHEEP FESCUE	25%
CANADA BLUEGRASS	10%
CANBY BLUEGRASS	5%

MOUNTAIN MAGIC WILDFLOWER MIX @1 LB/10,000 SF:

BABY'S BREATH	BLANKETFLOWER
CALIFORNIA POPPY	SHIRLEY POPPY
BLUE FLAX	LUPINE MIX
YAKI FLOWER	MAIDEN PINKS
PENSTEMON, ROCKY MOUNTAIN	
WILD THYME	

SLOPES OVER 3:1 SHALL BE HAY TACKIFIED OR NETTED.

DEFENSIBLE SPACE NOTES

THIS PLAN TO SATISFIE TOWN OF BRECKENRIDGE SUBDIVISION STANDARDS FOR RIDGELINE AND HILLSIDE DEVELOPMENT AND BRECKENRIDGE TOWN CODE DEVELOPMENT CODE STANDARDS FOR DEFENSIBLE SPACE.

15' ZONE 1: - ALL TREES TO BE REMOVED WITH EXCEPTION OF SPECIMEN TREES (5) TO BE APPROVED BY T.O.B. (ONLY HEALTH TREES TO BE PRESERVED). FIREWISE PLANTING MATERIAL TO BE ADDED TO SCREEN THE HOUSE FROM BELOW.

30' ZONE 2: - TREES TO BE REMOVED TO ALLOW 10' BETWEEN CANOPIES WITH EXCEPTION OF CLUSTERS TO BE APPROVED BY T.O.B. (ONLY HEALTHY TREES TO BE PRESERVED)

75' ZONE 3: - TREES TO BE REMOVED TO ALLOW 10' BETWEEN CANOPIES WITH EXCEPTION OF CLUSTERS TO BE APPROVED BY T.O.B. (ONLY HEALTHY TREES TO BE PRESERVED)

NOTE: NEW LANDSCAPING HAS BEEN ADDED TO PROVIDE ADDITIONAL SCREENING ENCOURAGED BY THE HIDELINE ORDINANCE, WHICH MITIGATES LOSS OF SCREENING DUE TO DEFENSIBLE SPACE ORDINANCE.

NOTE: NO BEETLE KILL TREES EXIST ON SITE. ALL HAVE BEEN REMOVED OR WERE NOT PRESENT ON SITE.

BUILDING HEIGHT TABLE

RIDGE POINT	RIDGE ELEVATION	NATURAL GRADE ELEVATION (APPROX.)	FINISHED GRADE ELEVATION	AS MEASURED FROM	CALCULATIONS	HEIGHT
A	10,368.18'	10,364.50'	10,362.00'	NATURAL GRADE	10,368.18' - 10,364.50'	3.68'
B	10,368.18'	10,367.00'	10,362.00'	NATURAL GRADE	10,368.18' - 10,367.00'	10.18'
C	10,368.38'	10,363.50'	10,363.50'	NATURAL GRADE	10,368.38' - 10,363.50'	3.88'
D	10,359.03'	10,348.50'	10,348.50'	NATURAL GRADE	10,359.03' - 10,348.50'	20.53'
E	10,364.88'	10,360.00'	10,361.00'	NATURAL GRADE	10,364.88' - 10,360.00'	3.88'
F	10,363.33'	10,358.00'	10,358.00'	NATURAL GRADE	10,363.33' - 10,358.00'	5.33'

REQUIRED SNOWSTACK

HARDSCAPE (PATIOS, WALKS & DRIVEWAY)	3,648 S.F.	100%
REQ'D SNOW STACK (25% OF HARDSCAPE)	912 S.F.	25%
TOTAL SNOW STACK PROVIDED	988 S.F.	26%

LOT COVERAGE

	SQ. FT.	%
BUILDING (INCLUDES OVERHANGS)	00 S.F.	0%
HARDSCAPE (DECKS, PATIOS, WALKS & DRIVEWAY)	00 S.F.	0%
OPEN SPACE	00 S.F.	0%
TOTAL LOT SIZE	35,484 S.F.	100%

SITE NOTES

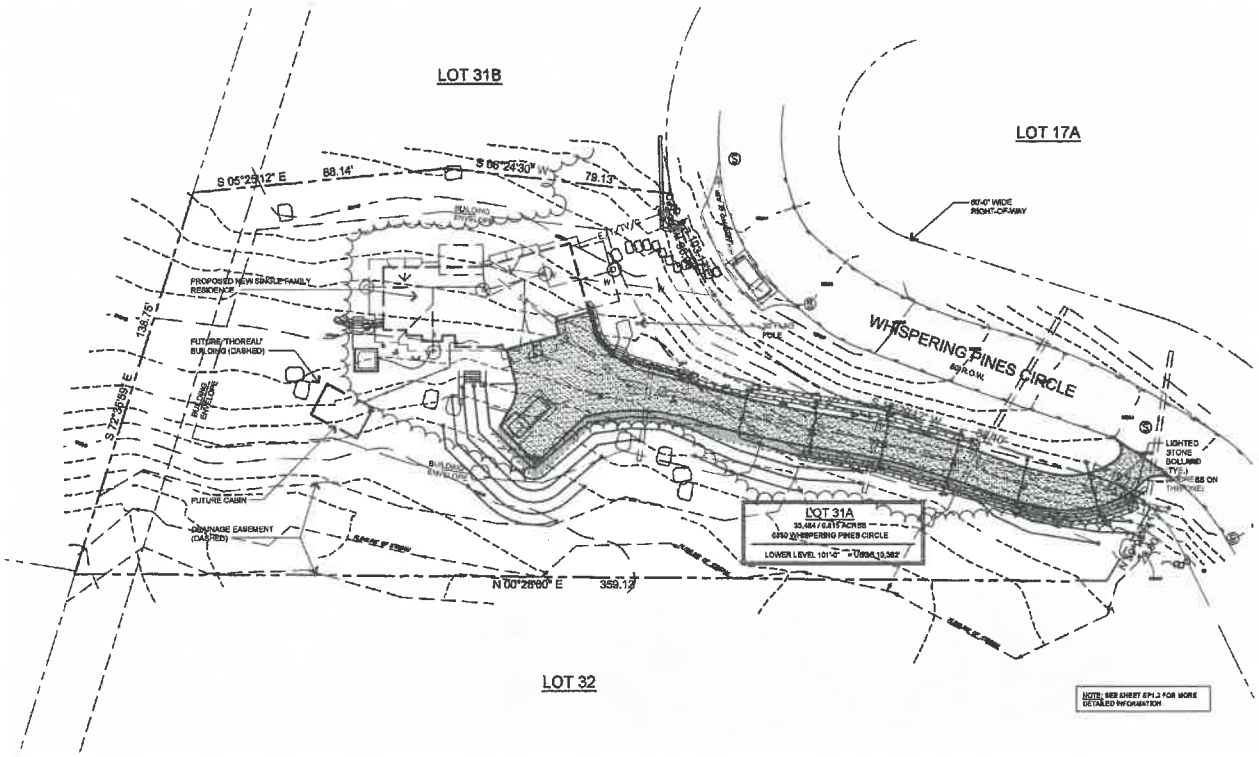
1. ELECTRIC, CABLE T.V. AND TELEPHONE UNDERGROUND IN COMMON TRENCH
2. VERIFY ALL UTILITY LOCATIONS PRIOR TO ANY WORK. COORDINATE UTILITY ROUTING WITH APPLICABLE UTILITY COMPANY. ALL UTILITIES TO BE UNDERGROUND
3. TOPOGRAPHIC INFORMATION OBTAINED FROM RANGE WEST ENGINEERS AND SURVEYORS, INC. JOB #19258
4. PROVIDE POSITIVE DRAINAGE AT BUILDING PERIMETER (SLOPE AWAY FROM BUILDING AT 1/12 MIN.)
5. REFER TO FOUNDATION PLAN FOR FOUNDATION DRAIN LOCATION AND SLOPE. DRAINS TO BE SLOPED TO DAYLIGHT TO NATURAL TRENCH
6. FLAG ALL TREES FOR OWNER PRIOR TO THINNING OR REMOVING
7. PROTECT ALL REMAINING TREES WITH SNOW FENCE OR OTHER APPROVED BARRIER DURING CONSTRUCTION
8. PROVIDE 6" DIA. STONE RIP RAP OVER WEED BARRIER FABRIC AT EAVES AND VALLEY DRIP LOCATIONS
9. STAKE HOUSE LOCATION FOR OWNER, ARCHITECT, AND ARCHITECTURAL REVIEW BOARD PRIOR TO ANY WORK
10. GENERAL CONTRACTOR TO REVIEW & COMPLY WITH ALL SUBDIVISION CONDITIONS. COPIES OF CONDITIONS ARE AVAILABLE FROM ARCHITECT
11. DRIVEWAY SHOWN AS 4% SLOPE FOR FIRST 30' FROM ROAD EDGE OF PAVEMENT AS REQUIRED

LANDSCAPE NOTES

1. PROVIDE 3"-5" (MIN.) CLAY FREE TOPSOIL AND SEED ALL DISTURBED AREAS WITH SUMMIT CO. SHORT SEED MIX STRIP AND STOCKPILE EXISTING TOPSOIL IN CONSTRUCTION AREA. SCREEN TOPSOIL PRIOR TO INSTALLATION.
2. REMOVE ALL EXISTING TREES WITHIN 15'-0" OFF ALL ROOF OVERHANGS AND DECKS FOR DEFENSIBLE SPACE. KEEP EXISTING TREES WHERE POSSIBLE, TAKING INTO CONSIDERATION DRIP LINES AND ROOT STRUCTURE. PROTECT EXISTING TREES WITH FENCING LOCATED AT OR OUTSIDE DRIP LINE OF TREE. STOCKPILE AND REUSE EXISTING TREES WHERE POSSIBLE.
3. GENERAL CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS PER SPECIFICATIONS AND CODE REQUIREMENTS.
4. PRIOR TO ANY LANDSCAPE WORK, REMOVE ALL DEBRIS, PAINT, CONCRETE, STUMPS, SLASH, ETC. FROM LANDSCAPE AREA.
5. LOCATE ALL PLANTINGS TO AVOID SNOW STACKING & SNOW SLIDE AREAS FROM ABOVE. LOCATE ALL NEW TREES 10'-0" MIN. OF ALL ROOF OVERHANGS AND DECK FOR DEFENSIBLE SPACE.
6. SHRUBS ARE TO BE FIELD LOCATED AS APPROVED BY OWNER AND ARCHITECT.
7. ALL NEW LANDSCAPING TO BE IRRIGATED WITH DRIP IRRIGATION SYSTEM. PROVIDE SUBMITTAL.
8. ALL NEW PLANTINGS SHOULD BE HIGH ALTITUDE GROWN AND OR COLLECTED TO ENSURE BETTER SURVIVAL.
9. NATURALIZE GROUPING OF TREES BY VARYING HEIGHT & LOCATION WHEREVER POSSIBLE.
10. SCREEN ALL UTILITY PEDESTALS WITH LANDSCAPE MATERIAL.
11. PROVIDE 3" TO 4" DIAMETER STONE RIPRAP OVER WEED BARRIER FABRIC AT BUILDING DRIP LINES. UNDULATE EDGES AND PROVIDE LANDSCAPE EDGING AT RIPRAP TO TOPSOIL JUNCTURE.
12. INSTALL & BACKFILL ALL PLANTINGS WITH SOIL MIX INCLUDING ORGANIC SOIL AMENDMENTS PER SPECIES REQUIREMENTS AND LANDSCAPE DETAILS.
13. ROOT FEED ALL NEWLY PLANTED TREES DURING INSTALLATION. PROVIDE LIQUID GROWTH TREE STIMULATOR AND SOLUABLE FERTILIZER AT RECOMMENDED RATE FOR EACH TREE SPECIES.
14. PROVIDE 3" OF SHREDDED BARK MULCH AT ALL SHRUB AND TREE WELLS.
15. LANDSCAPE BOULDERS OF 2' OR LARGER SHALL BE RETAINED ON SITE FOR USE IN LANDSCAPE WORK. BURY DECORATIVE BOULDERS ONE-HALF OF DIAMETER.
16. ADDITIONAL CONSULTATION WITH A QUALIFIED LANDSCAPE PROFESSIONAL AT OWNER OPTION IS RECOMMENDED.

CONTOUR LEGEND

EXISTING MINOR		DRAINAGE ARROW	
EXISTING MAJOR		SPOT GRADE AT DOT	10370
PROPOSED			



OVERALL SITE PLAN

SCALE: 1" = 20'-0"

0' 10' 20' 40' NORTH

PRELIMINARY NOT FOR CONSTRUCTION

REVISIONS:

JOB NO: 11036
DATE: 03-25-22
DRAWN BY: T. SHAFFER
CHECKED BY: M. HOGAN

ISSUED FOR:
SKETCH PLAN REVIEW
03-15-22

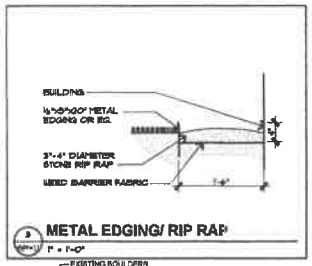
bhh Partners
P.O. BOX 1451 192 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-9880

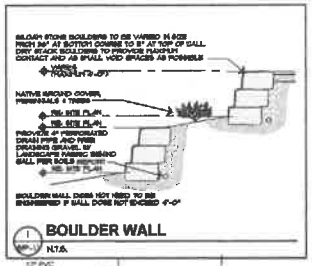
KIM'S WAY - SELSTROM RESIDENCE

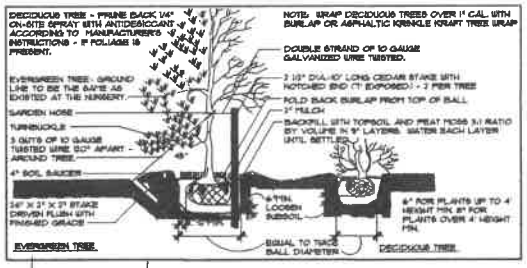
6850 WHISPERING PINES CIRCLE, LOT 31A TIMBER CREEK ESTATES BLUE RIVER, COLORADO

SHEET NUMBER:

SP1.1
OVERALL SITE PLAN AND NOTES

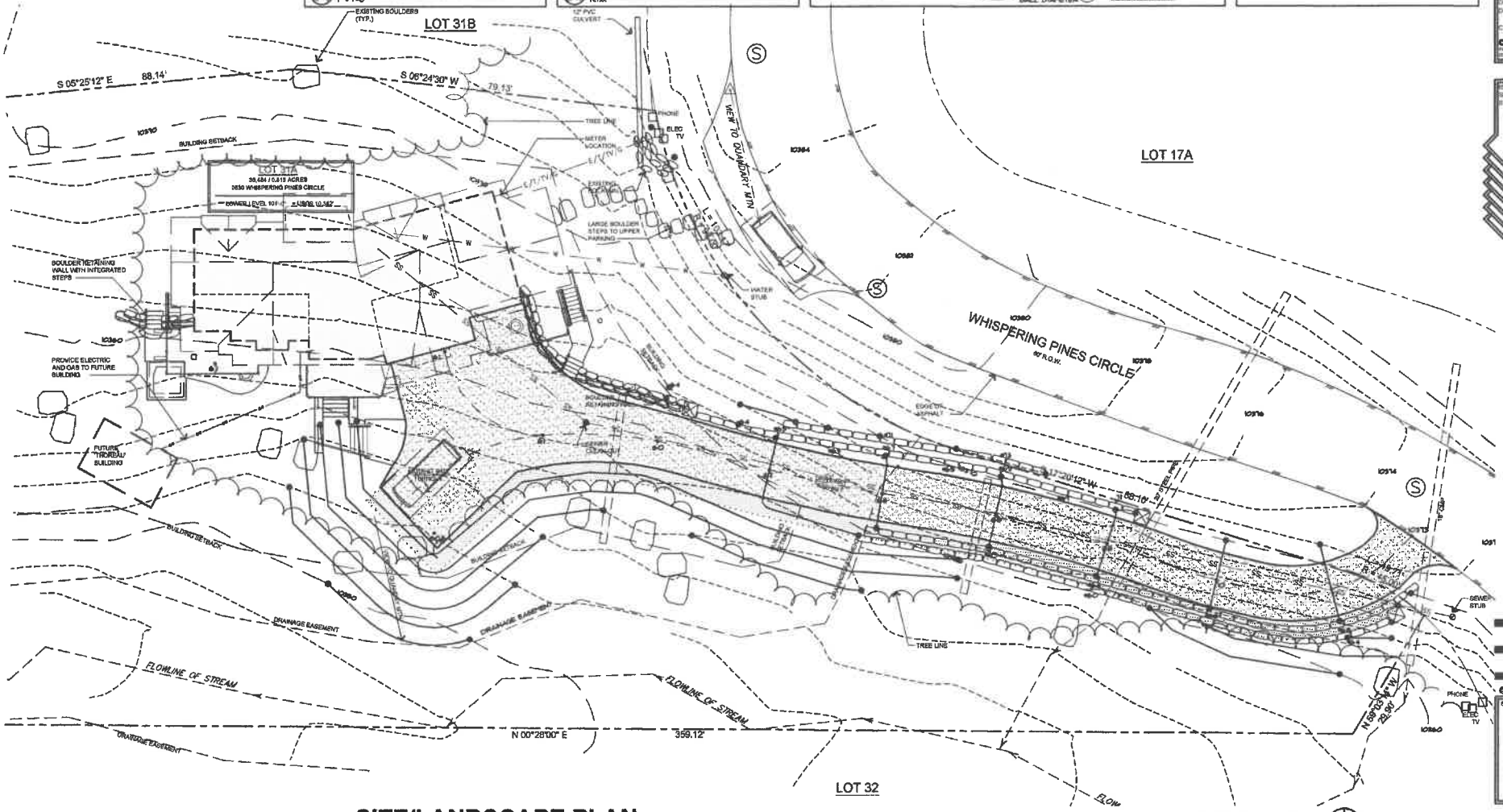






PLANTING LIST

KEY	COMMON	BOTANICAL	NO.	SIZE
EXISTING TREES				
	EXISTING	VARIES-	0	SEE SITE PLAN
EXISTING TREES TO BE REMOVED				
	VARIES-	VARIES-	0	SEE SITE PLAN
PROPOSED TREES TO BE ADDED				
	COLORADO SPRUCE	PICEA PUNGENS OR PICEA ENGELMANNI	3	12' B' CAL 20'-12' HEIGHT
	ASPEN	POPULUS TREMULOIDES	10	1" DBH 7-10' 3" CAL MULTI-STEM
	POTENTILLA	POTENTILLA FRUTICOSA	10	5 GAL.
	BUFFALO JUNIPER	JUNIPERUS SABINA	10	5 GAL.
	PEKING COTONEASTER	COTONEASTER ACUTIFOLIUS OR APICULATUS	10	6 GAL.
	NATIVE GROUND COVER (NO PERENNIALS)	PROVIDE SUBMITTAL	10	1 FLAT



PRELIMINARY NOT FOR CONSTRUCTION

REVISIONS:

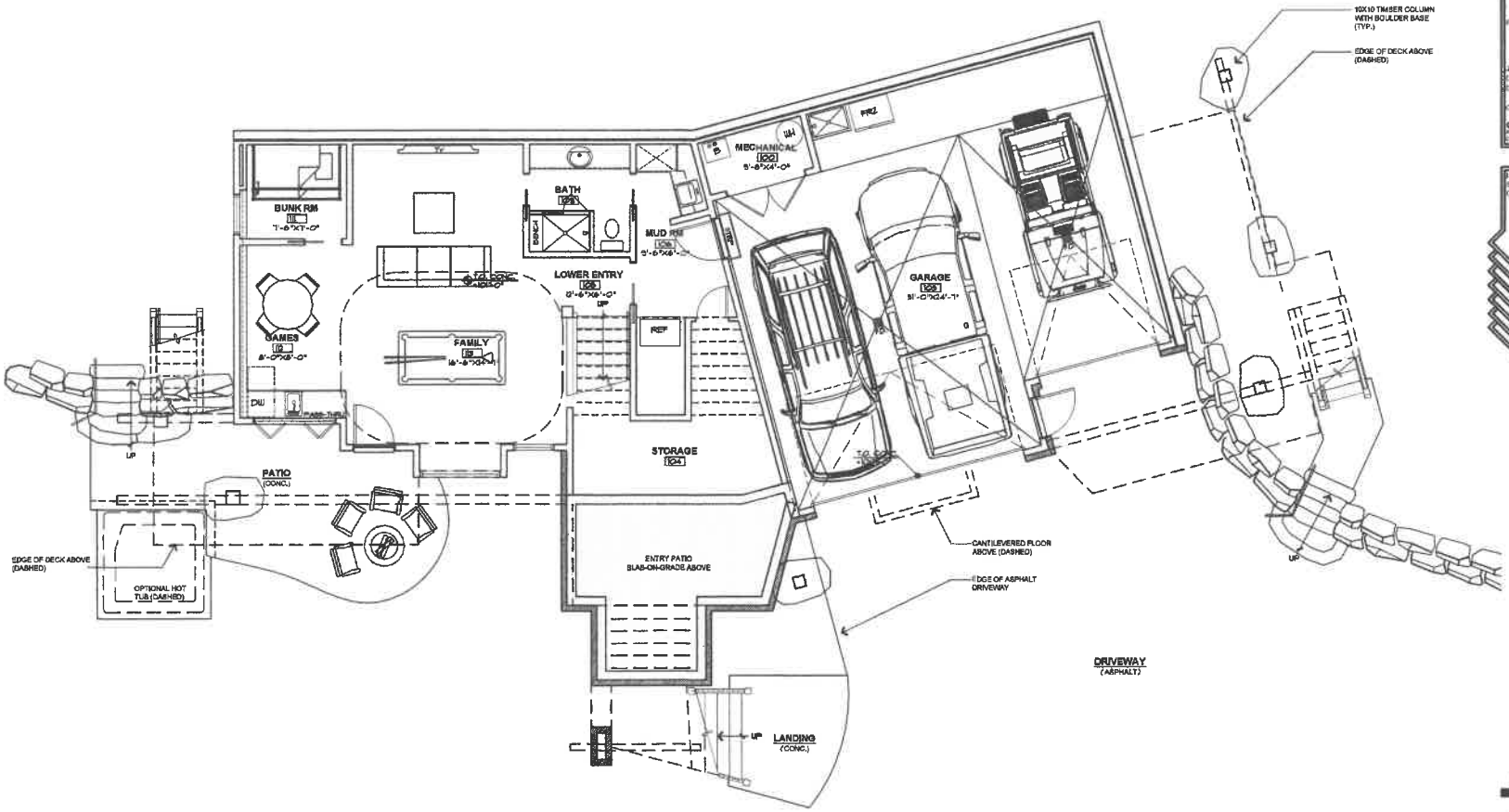
JOB NO: 11038
DATE: 03-25-22
DRAWN BY: T. SHAFFER
CHECKED BY: M. HOGAN

ISSUED FOR:
SKETCH PLAN REVIEW
03-25-22

bhh Partners
P.O. BOX 681 1100 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-2680

KIM'S WAY - SELSTROM RESIDENCE
2630 WHISPERING PINES CIRCLE, LOT 31A TIMBER CREEK ESTATES BLUE RIVER, COLORADO

SHEET NUMBER:
SP1.2
SITE/LANDSCAPE PLAN



LOWER LEVEL PLAN

SCALE: 1/4" = 1'-0"

907 FINISHED SQ. FT.
862 UNFINISHED SQ. FT.

0' 2' 4' 8'

NORTH

PRELIMINARY NOT FOR CONSTRUCTION

REVISIONS:

JOB NO: 11056
DATE: 03-18-22
DRAWN BY: T. SHAFFER
CHECKED BY: M. HOGAN

ISSUED FOR:
SKETCH PLAN REVIEW
03-18-22

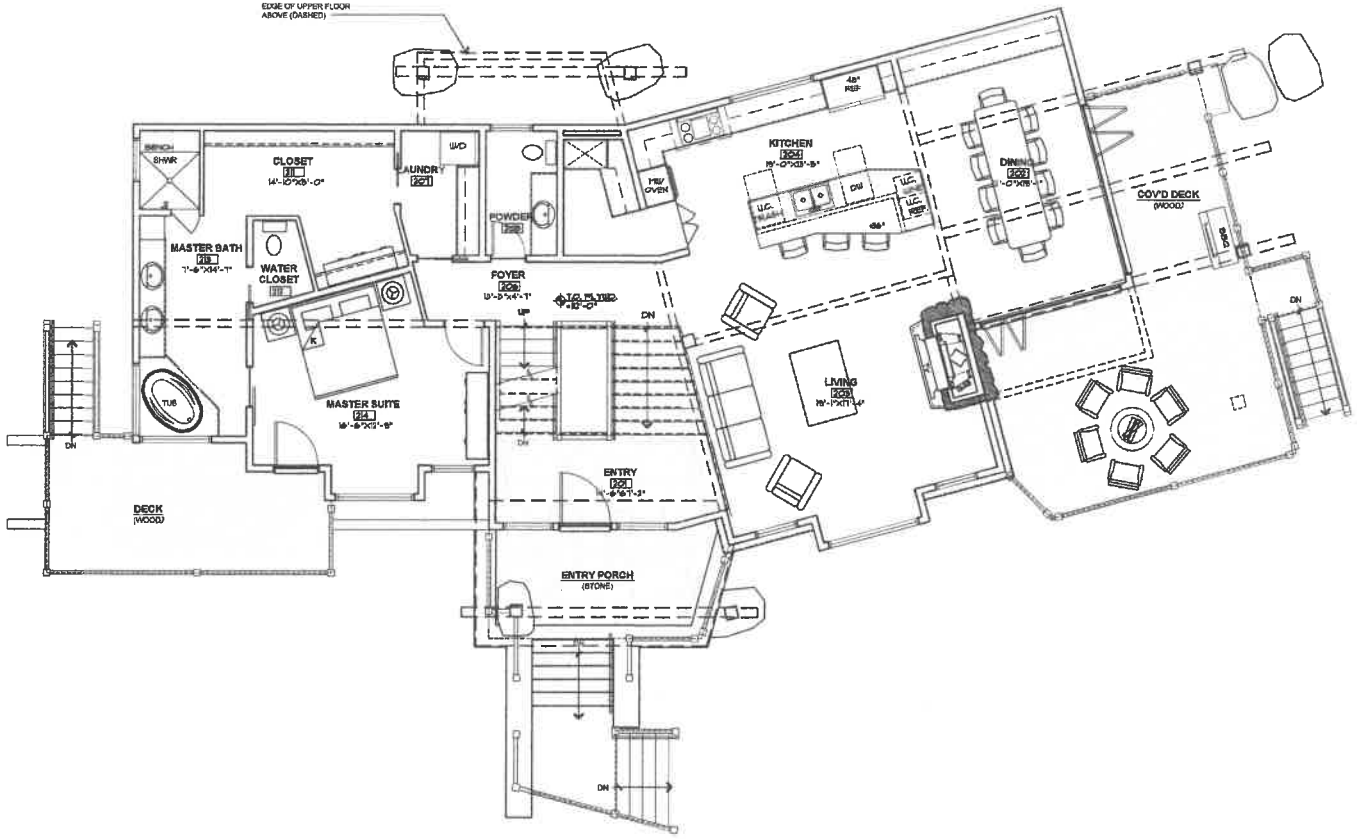
bhh Partners
P.O. BOX 681 160 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-6840

KIM'S WAY - SELSTROM RESIDENCE

839 WHISPERING PINES CIRCLE, LOT 31A TIMBER CREEK ESTATES BLUE RIVER, COLORADO

SHEET NUMBER:

A1.1
LOWER LEVEL PLAN



MAIN LEVEL PLAN

SCALE: 1/4" = 1'-0"

1,810 FINISHED SQ. FT.

0' 2' 4' 8'

NORTH

PRELIMINARY
NOT FOR
CONSTRUCTION

REVISIONS:

JOB NO: 11036
DATE: 03-18-22
DRAWN BY: T. SHAFFER
CHECKED BY: M. HOGAN

ISSUED FOR:
SKETCH PLAN REVIEW
03-18-22

bhh Partners
P.O. BOX 691 180 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-0880

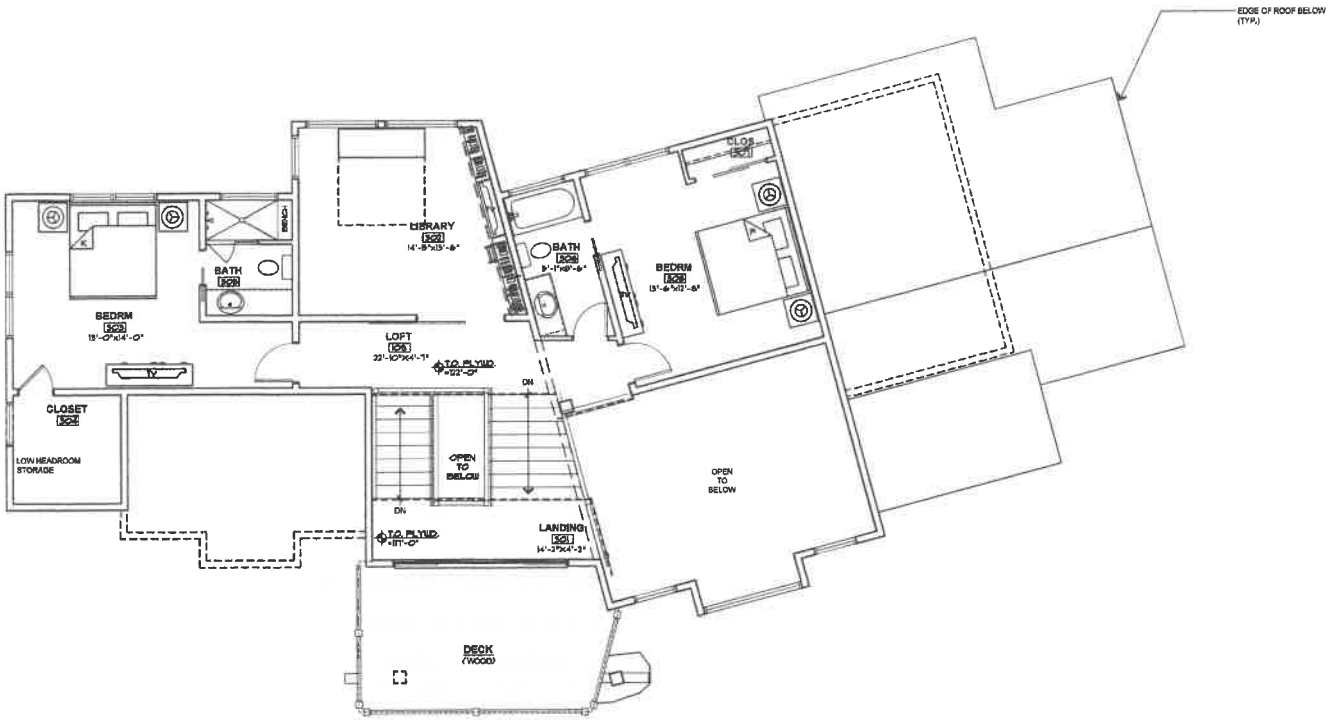
KIM'S WAY - SELSTROM RESIDENCE

520 WHISPERING PINES CIRCLE, LOT 31A TIMBER CREEK ESTATES BLUE RIVER, COLORADO

SHEET NUMBER:

A1.2

MAIN LEVEL PLAN



UPPER LEVEL PLAN

SCALE: 1/4" = 1'-0"

881 FINISHED SQ. FT.

0' 2' 4' 8'

NORTH

PRELIMINARY NOT FOR CONSTRUCTION

REVISIONS:

JOB NO: 11088
DATE: 03-25-22
DRAWN BY: T. SHAFFER

CHECKED BY: M. HOGAN

ISSUED FOR:
SKETCH PLAN REVIEW
03-25-22

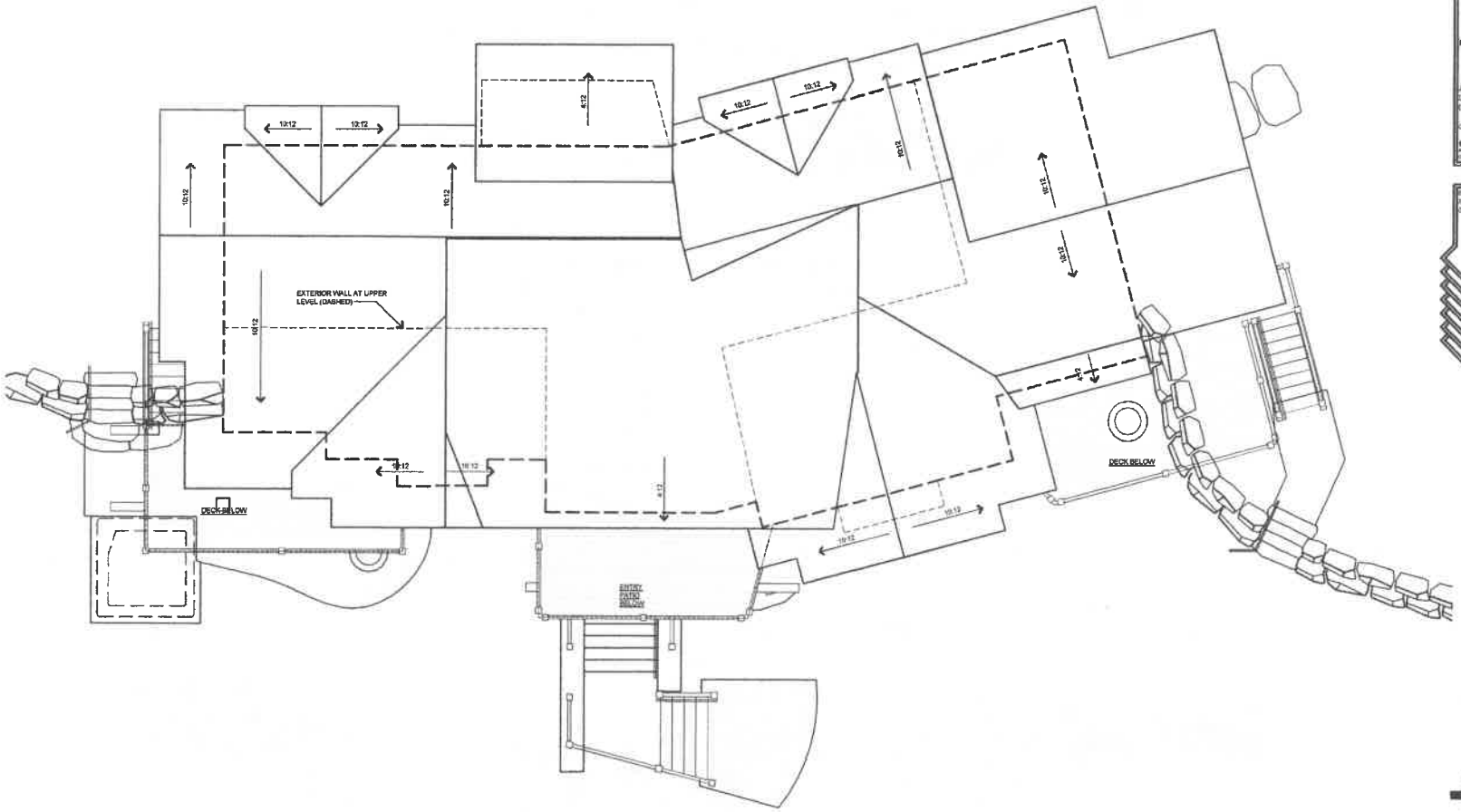
bhh Partners
P.O. BOX 931 100 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-5880

KIM'S WAY - SELSTROM RESIDENCE

530 WHISPERING PINES CIRCLE, LOT 31A TIMBER CREEK ESTATES BLUE RIVER, COLORADO

SHEET NUMBER:

A1.3
UPPER LEVEL PLAN



ROOF PLAN

SCALE: 1/4" = 1'-0"

0' 2' 4' 8'

NORTH

PRELIMINARY NOT FOR CONSTRUCTION

REVISIONS:

JOB NO: 11036
DATE: 03-25-22
DRAWN BY: T. SHAFFER
CHECKED BY: M. HOGAN

ISSUED FOR:
SKETCH PLAN REVIEW
03-25-22

bhh Partners
P.O BOX 931 180 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-6880

KIM'S WAY - SELSTROM RESIDENCE

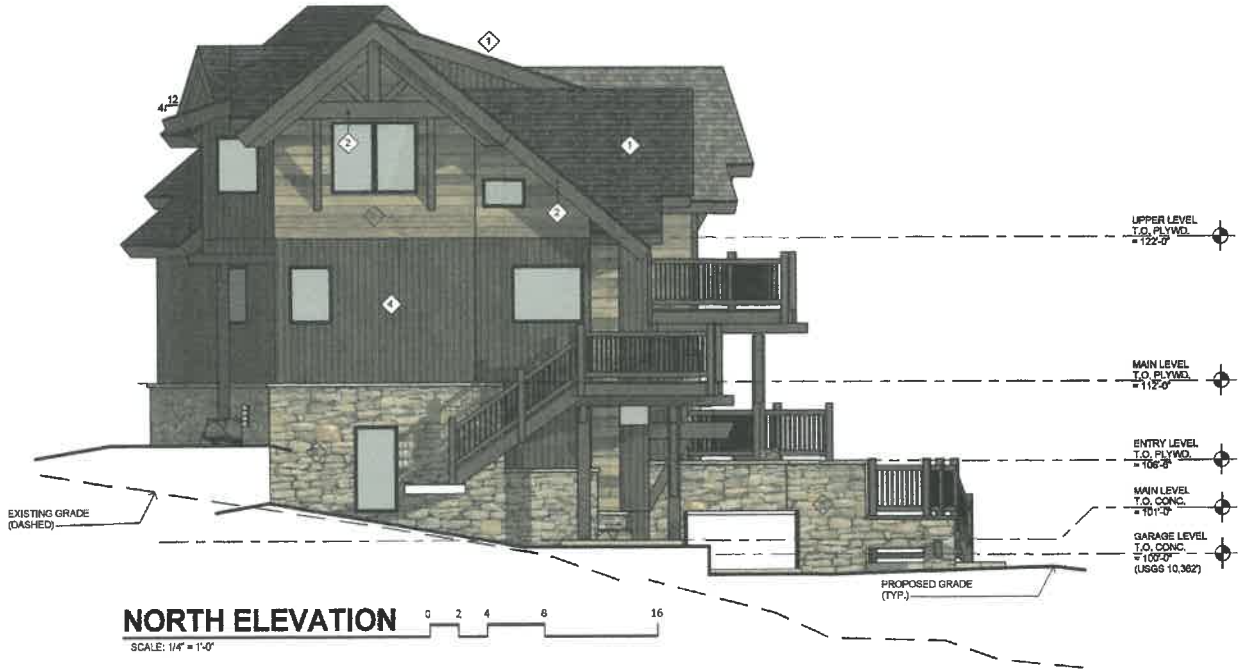
520 WHISPERING PINES CIRCLE, LOT 31A TIMBER CREEK ESTATES BLUE RIVER, COLORADO

SHEET NUMBER:

A1.4
ROOF PLAN

WEST ELEVATION

SCALE: 1/4" = 1'-0"



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

MATERIAL LEGEND

1 SHINGLE ROOFING	
2 FASCIA & BEAMS	
3 WINDOW CLADDING	
4 VERTICAL SIDING & SOFFITS	
5 HORIZONTAL SIDING	
6 SURFACE STONE	
7 METAL ROOFING	

NOTE: MATERIALS ARE TYPICAL FOR ALL ELEVATIONS. REFER TO ASSOCIATED COLOR BOARD FOR ADDITIONAL INFORMATION

PRELIMINARY NOT FOR CONSTRUCTION

REVISIONS:

JOB NO: 11038
DATE: 03-25-22
DRAWN BY: C. ECKEL
CHECKED BY: M.HOGAN

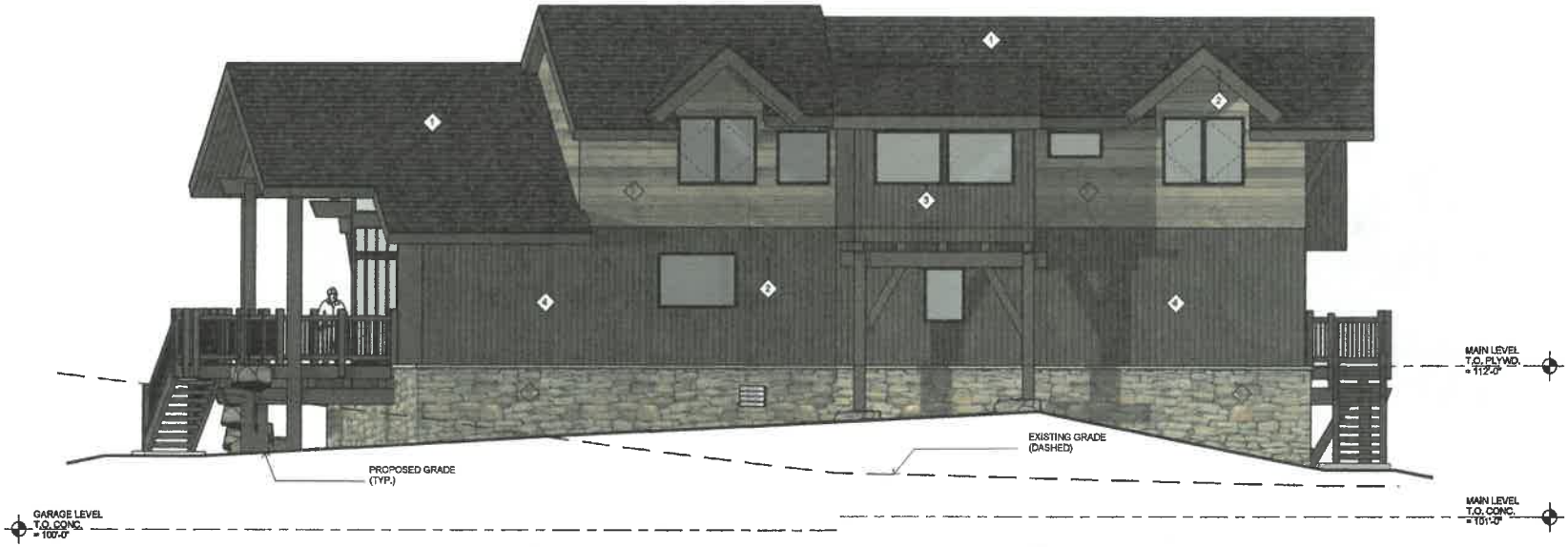
ISSUED FOR:
SKETCH PLAN REVIEW
03-25-22

bhh Partners
P.O. BOX 351 150 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-8880

SELSTROM RESIDENCE

830 WHISPERING PINES CIRCLE, LOT 51A TIMBER CREEK ESTATES BLUE RIVER, COLORADO

A2.1
BUILDING ELEVATIONS



EAST ELEVATION

SCALE: 1/4" = 1'-0"

0 2 4 8 16

SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

0 2 4 8 16

MATERIAL LEGEND

1 SHINGLE ROOFING	
2 FASCIA & BEAMS	
3 WINDOW CLADDING	
4 VERTICAL SIDING & SOFFITS	
5 HORIZONTAL SIDING	
6 SURFACE STONE	
7 METAL ROOFING	

NOTE: MATERIALS ARE TYPICAL FOR ALL ELEVATIONS, REFER TO ASSOCIATED COLOR BOARD FOR ADDITIONAL INFORMATION

PRELIMINARY NOT FOR CONSTRUCTION

REVISIONS:

JOB NO: 11038
DATE: 03-25-22
DRAWN BY: C. ECKEL
CHECKED BY: M. HOGAN

ISSUED FOR:
SKETCH PLAN REVIEW
03-25-22

bhh Partners
P.O. BOX 891 109 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-9-80

SELSTROM RESIDENCE

839 WISPERING PINES CIRCLE, LOT 31A TIMBER CREEK ESTATES BLUE RIVER, COLORADO

A2.2
BUILDING ELEVATIONS

3D MODEL SHOTS

NOT TO SCALE

PRELIMINARY NOT FOR CONSTRUCTION

REVISIONS:

JOB NO: 11036
DATE: 03-25-22
DRAWN BY: jlouskamper
CHECKED BY: mhorgan

ISSUED FOR:
SKETCH PLAN REVIEW
03-25-22

bhh Partners
P.O. BOX 681 100 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-0800

KIM'S WAY - SELSTROM RESIDENCE

550 WHISPERING PINES CIRCLE, LOT 31A TIMBER CREEK ESTATES BLUE RIVER, COLORADO

SHEET NUMBER:

A2.3

KIM'S WAY-SELSTROM RESIDENCE

GENERAL NOTES

1) COPYRIGHT:
All plans, designs, and concepts shown in these drawings are the exclusive property of BHH Partners, Planners and Architects, A.I.A./P.C. and shall not be used, disclosed, or reproduced for any purpose whatsoever without the Architect's written permission.

2) CODES:
This project is governed by the applicable building code as adopted by the jurisdiction of record in Colorado. Code compliance is mandatory. The drawings and specifications shall not permit work that does not conform to these codes. The General Contractor and Subcontractors shall be responsible for satisfying all applicable codes and obtaining all permits and required approvals. Building areas are shown for code purposes only and shall be recalculated for any other purposes.

3) FIELD VERIFICATION:
Verify all dimensions, conditions, and utility locations on the job site prior to beginning any work or ordering any materials. Notify Architect of any conflicts or discrepancies in the drawings immediately.

4) DIMENSIONS:
Written dimensions always take precedence over scaled dimensions. DO NOT SCALE DRAWINGS. Verify all dimensions shown prior to beginning any work and notify Architect of any conflicts or discrepancies for interpretation or clarification. Plan dimensions are in the face of framing members, face of wood framing or face of concrete walls unless otherwise noted. Section or elevation dimensions are to top of concrete, top of plywood, or top of wall plates at beams unless otherwise noted.

5) DISCREPANCIES:
The Owner has requested the Architect to provide limited architectural and engineering services. In the event additional details or guidance is needed by the Contractor for construction of any aspect of this project, he shall immediately notify the Architect. Failure to give timely notice shall relieve the Architect of responsibility. Do not proceed in areas of discrepancy until all such discrepancies have been fully resolved with written direction from the Architect.

6) DUTY OF COOPERATION:
Release of these plans constitutes further cooperation among the Owner, the Contractor, and the Architect. Design and construction are complex. Although the Architect and his Consultants have performed their services with care and diligence, they cannot guarantee perfection. Communication is important, and every development cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the Architect. Failure to notify the Architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the Architect shall relieve the Architect from responsibility for all consequences.

7) CHANGES TO THE WORK:
Any items described herein that impact project budget or time shall be requested from the Contractor via a written change order request prior to such work. Performance of such work without approval by change order indicates General Contractor's acknowledgment of no increase in contract sum or time. Changes from the plans or specifications made without consent of the Architect are unauthorized and shall relieve the Architect of responsibility for any and all consequences resulting from such changes.

8) WORKMANSHIP:
It is the intent and meaning of these drawings that the Contractor and each Subcontractor provide all labor, materials, transportation, supplies, equipment, etc., to obtain a complete job within the recognized standards of the industry.

9) SUBSTITUTIONS:
Substitution of "equal" products will be acceptable with Architect's written approval. See specifications.

10) CONSTRUCTION SAFETY:
These drawings do not include the necessary components for construction safety. The General Contractor shall provide for the safety, care of utilities and adjacent properties during construction, and shall comply with state and federal safety regulations.

11) EXCAVATION PROCEDURES:
Upon completion of any excavation, the Owner shall retain a soils engineer to inspect the subsurface conditions in order to determine the adequacy of foundation design. See specifications. CONTRACTOR SHALL NOT POUR ANY CONCRETE UNTIL APPROVAL IS OBTAINED FROM SOILS ENGINEER.

12) FIELD CUTTING OF STRUCTURAL MEMBERS:
The General Contractor and Subcontractors shall field coordinate and obtain approval from Engineer before any cutting, notching or drilling of any cast-in-place concrete, steel framing, or any other structural elements which may affect the structural integrity of the building. Refer to the appropriate Code Requirements, manufacturer's or supplier's instructions, and structural drawings for additional requirements.

13) WEATHER CONDITIONS:
The Owner has been advised that due to harsh winter conditions, roof and deck surfaces must be maintained reasonably free of ice and snow to insure minimal problems with these surfaces. All roofing, roofing membranes, and waterproofing shall be approved in writing by product manufacturer (W.R. Grace for Membrane, etc.) prior to proceeding with any work. Failure to provide these written approvals removes all responsibility for the work from the Architect.

14) BUILDING AREA
Building areas are shown for code purposes only and shall be recalculated for any other use.

15) PROJECT STAKING
The general contractor shall verify all existing grades and stake all building corners and the driveway location for Owner/Architect and jurisdiction approval prior to beginning any site clearing.

16) SITE DISTURBANCE
It is the responsibility of the contractor to protect the existing trees to remain and adjacent properties from damage during construction. Provide protective fencing throughout construction.

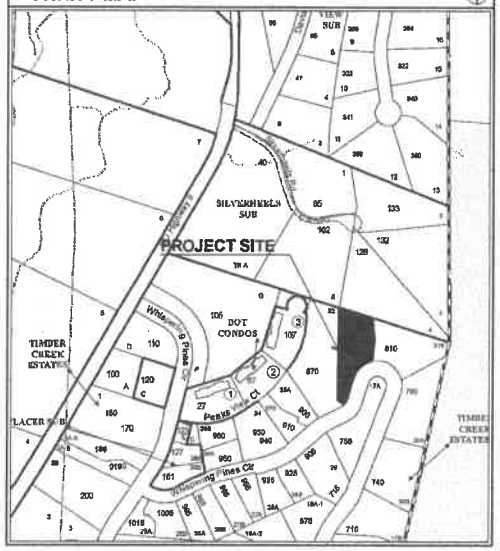
17) PROJECT GRADES
The general contractor shall check and verify all grades including paved area slopes prior to pouring any foundations. Survey work should be verified in detail, See Numbers 5 and 6.

18) EXTERIOR MATERIAL MOCK UP
The General Contractor shall provide a mock up of all exterior materials for review by the Owner. This mock up shall be provided and signed off in writing prior to any exterior slab or interior finish work. The sample shall include beams, ties, window cladding and all other exterior finishes including a 2'-0"x2'-0" (min) sample of exterior stonework if applicable. This mock up shall be retained on site until the final punch.

19) 3D MODELING
This project has been digitally modeled in 3d software. This digital model is provided for reference purposes only. Transmission of digital model files constitutes a warranty by the party transmitting files to the party receiving files that the transmitting party is the copyright owner of the digital data. Unless otherwise agreed in writing, any use of, transmission of, or reliance on the model is at the receiving party's risk, the contractor shall notify the architect of questions or coordination issues between the various documents and digital mo

VIEW FROM SOUTHWEST

VICINITY MAP



AREA CALCULATIONS

	UNFINISHED	FINISHED	TOTAL
LOWER	862 S.F.	920 S.F.	1,782 S.F.
MAIN	00 S.F.	1,809 S.F.	1,809 S.F.
UPPER	00 S.F.	891 S.F.	891 S.F.
	862 S.F.	3,620 S.F.	4,482 S.F.

NOTE: SQUARE FOOTAGES ARE CALCULATED FOR CODE PURPOSES ONLY AND SHOULD BE RECALCULATED FOR ANY OTHER PURPOSES .

FINISHED FLOOR ELEVS.

	U.S.G.S.	ARCHITECTURAL
LOWER	10,362'	100'-0"
MAIN	10,374'	112'-0"
UPPER	10,384'	122'-0"

LEGAL DESCRIPTION

LOT 31A
FILING #3
TIMBER CREEK ESTATES

[redacted] SQ. FT., [redacted] ACRES

[redacted] ADDRESS:
[redacted] WHISPERING PINES CIRCLE
[redacted] RIVER, COLORADO

SHEET INDEX

PRELIMINARY NOT FOR CONSTRUCTION

REVISION:

JOB NO: 11036
DATE: 03-25-22
DRAWN BY: T.SHAFFER
CHECKED BY: M.HOGAN

ISSUED FOR:
SKETCH PLAN REVIEW
03-25-22

bhh Partners
P.O BOX 681 160 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-6860

KIM'S WAY - SELSTROM RESIDENCE
530 WHISPERING PINES CIRCLE, LOT 31A TIMBER CREEK ESTATES BLUE RIVER, COLORADO

SHEET NUMBER:
T1.1
TITLE SHEET, GENERAL NOTES, SCHEDULES AND INFORMATION

OWNER:
KIM and JOHN SELSTROM
8207 OAKLEY COURT
SPRINGFIELD, VA. 22152
(703) 866-4742 home
john.selstrom@outlook.com

ARCHITECT:
BHH Partners, Planners and Architects
160 EAST ADAMS STREET
P.O.BOX 681
BRECKENRIDGE, CO 80424
(970) 453-6860 (970) 453-6868 FAX
tshaffer@bhhpartners.com

CONTRACTOR:
TRILOGY PARTNERS, LLC
P.O. BOX 2936
BRECKENRIDGE, CO 80424
(970) 453-2230
michael@trilogybuilds.com

STRUCT'L. ENGINEER:
[redacted] DESIGN WORKS
[redacted] TOP PKWY., UNIT 206A
STEAMBOAT SPRINGS, CO 80487
(970) 879-4880
(970) 879-4805 FAX
sdw@springs.com

SURVEYOR:
RANGE WEST SURVEYORS
PO BOX 688
SILVERTHORNE, COLORADO 80498
(970) 468-8281

SOILS ENGINEER:
[redacted] CONSTRUCTION SERVICES
ROB THOBALD
1000 AIRPORT ROAD
BRECKENRIDGE, CO 80424
(970) 453-7878 WORK AND CELL

REVEGETATION NOTES

REVEGETATE ALL DISTURBED AREAS ON THE SITE WITH:

SHORT DRY GRASS MIX @2 LBS/1000 SF:

HARD FESCUE	30%
CREEPING RED FESCUE	30%
SHEEP FESCUE	25%
CANADA BLUEGRASS	10%
CANBY BLUEGRASS	5%

MOUNTAIN MAGIC WILDFLOWER MIX @1 LB/10,000 SF:

BABY'S BREATH	BLANKETFLOWER
CALIFORNIA POPPY	SHIRLEY POPPY
BLUE FLAX	LUPINE MIX
WALLFLOWER	MAIDEN PINKS
PENSTEMON, ROCKY MOUNTAIN	
WILD THYME	

SLOPES OVER 3:1 SHALL BE HAY TACKIFIED OR NETTED.

DEFENSIBLE SPACE NOTES

THIS PLAN TO SATISFIE TOWN OF BRECKENRIDGE SUBDIVISION STANDARDS FOR RIDGELINE AND HILLSIDE DEVELOPMENT AND BRECKENRIDGE TOWN CODE DEVELOPMENT CODE STANDARDS FOR DEFENSIBLE SPACE.

15' ZONE 1: - ALL TREES TO BE REMOVED WITH EXCEPTION OF SPECIMEN TREES (5) TO BE APPROVED BY T.O.B. (ONLY HEALTH TREES TO BE PRESERVED). INVASIVE PLANTING MATERIAL TO BE ADDED TO SCREEN THE HOUSE FROM BELOW.

30' ZONE 2: - TREES TO BE REMOVED TO ALLOW 10' BETWEEN CANOPIES WITH EXCEPTION OF CLUSTERS TO BE APPROVED BY T.O.B. (ONLY HEALTHY TREES TO BE PRESERVED)

75' ZONE 3: - TREES TO BE REMOVED TO ALLOW 10' BETWEEN CANOPIES WITH EXCEPTION OF CLUSTERS TO BE APPROVED BY T.O.B. (ONLY HEALTHY TREES TO BE PRESERVED)

NOTE: NEW LANDSCAPING HAS BEEN ADDED TO PROVIDE ADDITIONAL SCREENING ENCOURAGED BY THE RIDGELINE ORDINANCE, WHICH INTIMATES LOSS OF SCREENING DUE TO DEFENSIBLE SPACE ORDINANCE.

NOTE: NO BEETLE KILL TREES EXIST ON SITE. ALL HAVE BEEN REMOVED OR WERE NOT PRESENT ON SITE.

BUILDING HEIGHT TABLE

RIDGE POINT	RIDGE ELEVATION	NATURAL GRADE ELEVATION (APPROX.)	FINISHED GRADE ELEVATION	AS MEASURED FROM	CALCULATIONS	HEIGHT
A	10,[illegible]	10,36[illegible]	10,362.00'	NATURAL GRADE	10,[illegible] - 10,36[illegible]	3.6[illegible]
B	10,[illegible]	10,36[illegible]	10,362.00'	NATURAL GRADE	10,[illegible] - 10,36[illegible]	32.25'
C	10,[illegible]	10,36[illegible]	10,363.50'	NATURAL GRADE	10,[illegible] - 10,363.50'	3.[illegible]
D	10,[illegible]	10,36[illegible]	10,363.50'	NATURAL GRADE	10,[illegible] - 10,363.50'	29.52'
E	10,36[illegible]	10,360.00'	10,361.00'	NATURAL GRADE	10,36[illegible] - 10,360.00'	3.[illegible]
F	10,[illegible]	10,[illegible]	10,[illegible]	NATURAL GRADE	10,363.33' - 10,[illegible]	3.33'

REQUIRED SNOWSTACK

HARDSCAPE (PATIOS, WALKS & DRIVEWAY)	3,646 S.F.	100%
REQ'D SNOW STACK (25% OF HARDSCAPE)	912 S.F.	25%
TOTAL SNOW STACK PROVIDED	955 S.F.	26%

LOT COVERAGE

	SQ. FT.	%
BUILDING (INCLUDES OVERHANGS)	00 S.F.	0%
HARDSCAPE (DECKS, PATIOS, WALKS & DRIVEWAY)	00 S.F.	0%
OPEN SPACE	00 S.F.	0%
TOTAL LOT SIZE	36,484 S.F.	100%

SITE NOTES

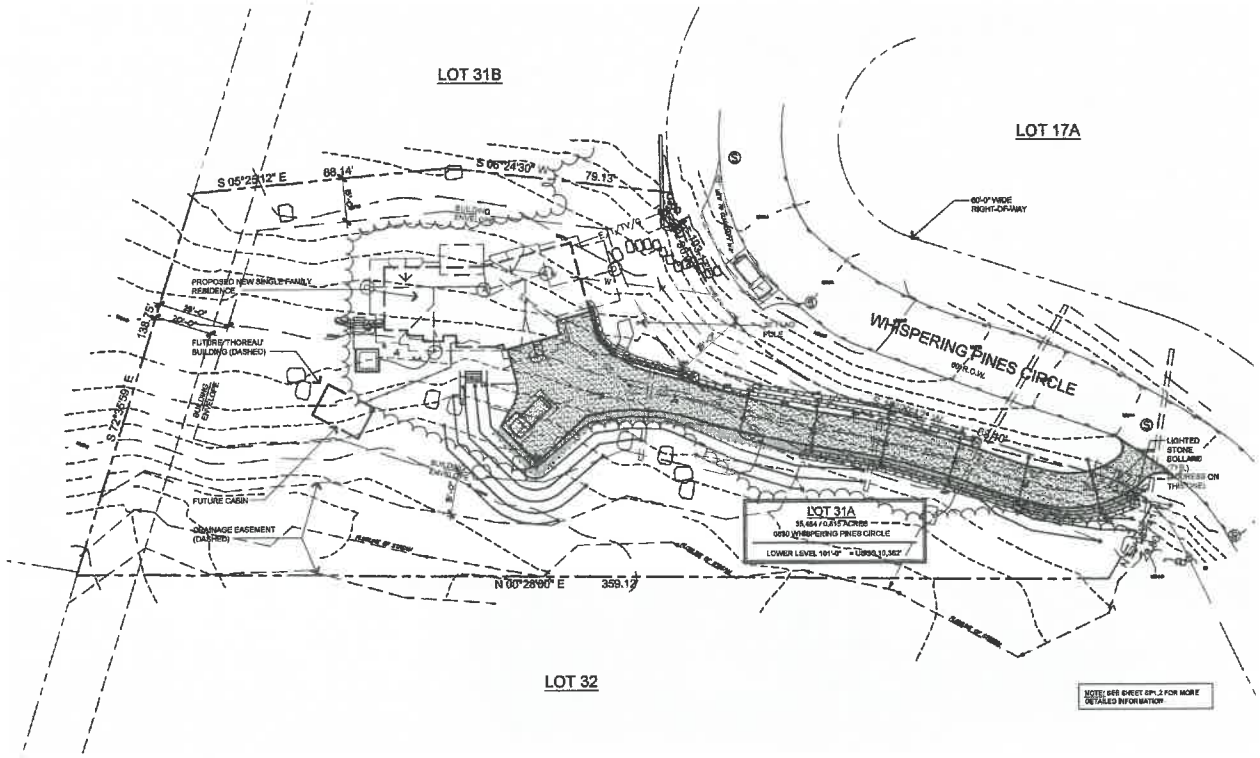
1. ELECTRIC, CABLE T.V. AND TELEPHONE UNDERGROUND IN COMMON TRENCH
2. VERIFY ALL UTILITY LOCATIONS PRIOR TO ANY WORK. COORDINATE UTILITY ROUTING WITH APPLICABLE UTILITY COMPANY. ALL UTILITIES TO BE UNDERGROUND
3. TOPOGRAPHIC INFORMATION OBTAINED FROM RANGE WEST ENGINEERS AND SURVEYORS, INC. JOB #10258
4. PROVIDE POSITIVE DRAINAGE AT BUILDING PERIMETER (SLOPE AWAY FROM BUILDING AT 1/2 MIN.)
5. REFER TO FOUNDATION PLAN FOR FOUNDATION DRAIN LOCATION AND SLOPE. DRAINS TO BE SLOPED TO DAYLIGHT TO NATURAL TRENCH
6. FLAG ALL TREES FOR OWNER PRIOR TO THINNING OR REMOVING
7. PROTECT ALL REMAINING TREES WITH SNOW FENCE OR OTHER APPROVED BARRIER DURING CONSTRUCTION
8. PROVIDE 8" DIA. STONE RIP RAP OVER WEED BARRIER FABRIC AT EAVES AND VALLEY DRIP LOCATIONS
9. STAKE HOUSE LOCATION FOR OWNER, ARCHITECT, AND ARCHITECTURAL REVIEW BOARD PRIOR TO ANY WORK
10. GENERAL CONTRACTOR TO REVIEW & COMPLY WITH ALL SUBDIVISION CONDITIONS. COPIES OF CONDITIONS ARE AVAILABLE FROM ARCHITECT
11. DRIVEWAY SHOWN AS 4% SLOPE FOR FIRST 20' FROM ROAD EDGE OF PAVEMENT AS REQUIRED

LANDSCAPE NOTES

1. PROVIDE 2'-0" (MIN.) CLAY FREE TOPSOIL AND SEED ALL DISTURBED AREAS WITH SUMMIT CO. SHORT SEED MIX STRIP AND STOCKPILE EXISTING TOPSOIL IN CONSTRUCTION AREA. SCREEN TOPSOIL PRIOR TO INSTALLATION.
2. REMOVE ALL EXISTING TREES WITHIN 15'-0" OFF ALL ROOF OVERHANGS AND DECKS FOR DEFENSIBLE SPACE. KEEP EXISTING TREES WHERE POSSIBLE, TAKING INTO CONSIDERATION DRIP LINES AND ROOT STRUCTURE. PROTECT EXISTING TREES WITH FENCING LOCATED AT OR OUTSIDE DRIP LINE OF TREE. STOCKPILE AND REUSE EXISTING TREES WHERE POSSIBLE.
3. GENERAL CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS PER SPECIFICATIONS AND CODE REQUIREMENTS.
4. PRIOR TO ANY LANDSCAPE WORK, REMOVE ALL DEBRIS, PAINT, CONCRETE, STUMPS, SLASH, ETC. FROM LANDSCAPE AREA.
5. LOCATE ALL PLANTINGS TO AVOID SNOW STACKING & SNOW SLIDE AREAS FROM ABOVE. LOCATE ALL NEW TREES 15'-0" MIN. OF ALL ROOF OVERHANGS AND DECK FOR DEFENSIBLE SPACE.
6. SHRUBS ARE TO BE FIELD LOCATED AS APPROVED BY OWNER AND ARCHITECT.
7. ALL NEW LANDSCAPING TO BE IRRIGATED WITH DRIP IRRIGATION SYSTEM. PROVIDE SUBMITTAL.
8. ALL NEW PLANTINGS SHOULD BE HIGH ALTITUDE GROWN AND OR COLLECTED TO ENSURE BETTER SURVIVAL.
9. NATURALIZE GROUPING OF TREES BY VARYING HEIGHT & LOCATION WHEREVER POSSIBLE.
10. SCREEN ALL UTILITY PEDESTALS WITH LANDSCAPE MATERIAL.
11. PROVIDE 3" TO 4" DIAMETER STONE RIPRAP OVR WEED BARRIER FABRIC AT BUILDING DRIP LINES. UNDULATE EDGES AND PROVIDE LANDSCAPE EDGING AT RIPRAP TO TOPSOIL JUNCTURE.
12. INSTALL & BACKFILL ALL PLANTINGS WITH SOIL MIX INCLUDING ORGANIC SOIL AMENDMENTS PER SPECIES REQUIREMENTS AND LANDSCAPE DETAILS.
13. ROOT FEED ALL NEWLY PLANTED TREES DURING INSTALLATION. PROVIDE LIQUID GROWTH TREE STIMULATOR AND SOLUABLE FERTILIZER AT RECOMMENDED RATE FOR EACH TREE SPECIES.
14. PROVIDE 3" OF SHREDDED BARK MULCH AT ALL SHRUB AND TREE WELLS.
15. LANDSCAPE BOULDERS OF 2' OR LARGER SHALL BE RETAINED ON SITE FOR USE IN LANDSCAPE WORK. BURY DECORATIVE BOULDERS ONE-HALF OF DIAMETER.
16. ADDITIONAL CONSULTATION WITH A QUALIFIED LANDSCAPE PROFESSIONAL AT OWNER OPTION IS RECOMMENDED.

CONTOUR LEGEND

EXISTING MINOR	— — —	DRAINAGE ARROW	←
EXISTING MAJOR	— — —		
PROPOSED	———	SPOT GRADE AT DOT	10370



OVERALL SITE PLAN

SCALE: 1" = 20'-0"

0' 10' 20' 40' NORTH

PRELIMINARY NOT FOR CONSTRUCTION

REVISIONS:

JOB NO: 11038
DATE: 03-25-22
DRAWN BY: T. SHAFFER
CHECKED BY: M. HOGAN

ISSUED FOR:
SKETCH PLAN REVIEW
03-25-22

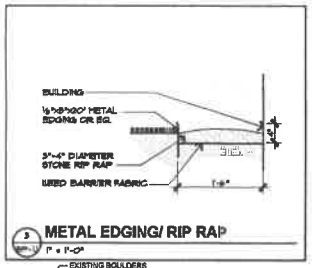
bhh Partners
PO BOX 931 100 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-5833

KIM'S WAY - SELSTROM RESIDENCE

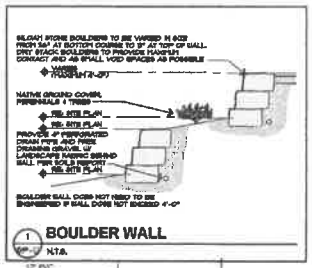
0890 WHISPERING PINES CIRCLE, LOT 31A TIMBER CREEK ESTATES BLUE RIVER, COLORADO

SHEET NUMBER:

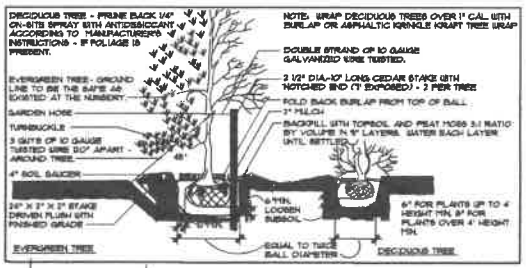
SP1.1
OVERALL SITE PLAN AND NOTES



3 METAL EDGING/ RIP RAP
1" = 1'-0"



1 BOULDER WALL
N.T.S.



PLANTING LIST

KEY	COMMON	BOTANICAL	NO.	SIZE
EXISTING TREES				
	EXISTING	VARIES-	0	SEE SITE PLAN
EXISTING TREES TO BE REMOVED				
	VARIES-	VARIES-	0	SEE SITE PLAN
PROPOSED TREES (SHRUBS TO BE SODDED)				
	COLORADO SPRUCE	PICEA PUNGENS OR PICEA ENGELMANNI	3	11'-13' HT. OR 10'-12' HT.
	ASPEN	POPULUS TREMULOIDES	18	1 1/2" DIA. OR 60% MULTI-STEM
	POTENTILLA	POTENTILLA FRUTICOSA	10	5 GAL.
	BUFFALO JUNIPER	JUNIPERUS SABINA	10	5 GAL.
	PEKING COTONEASTER	COTONEASTER LUCIDUS	10	5 GAL.
	NATIVE GROUND COVER AND PERENNIALS	PROVIDE SUBMITTAL	10	1 FLAT

PRELIMINARY
NOT FOR
CONSTRUCTION

REVISIONS:

JOB NO: 11038
DATE: 03-25-22
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CHECKED BY: M. HOGAN

ISSUED FOR:
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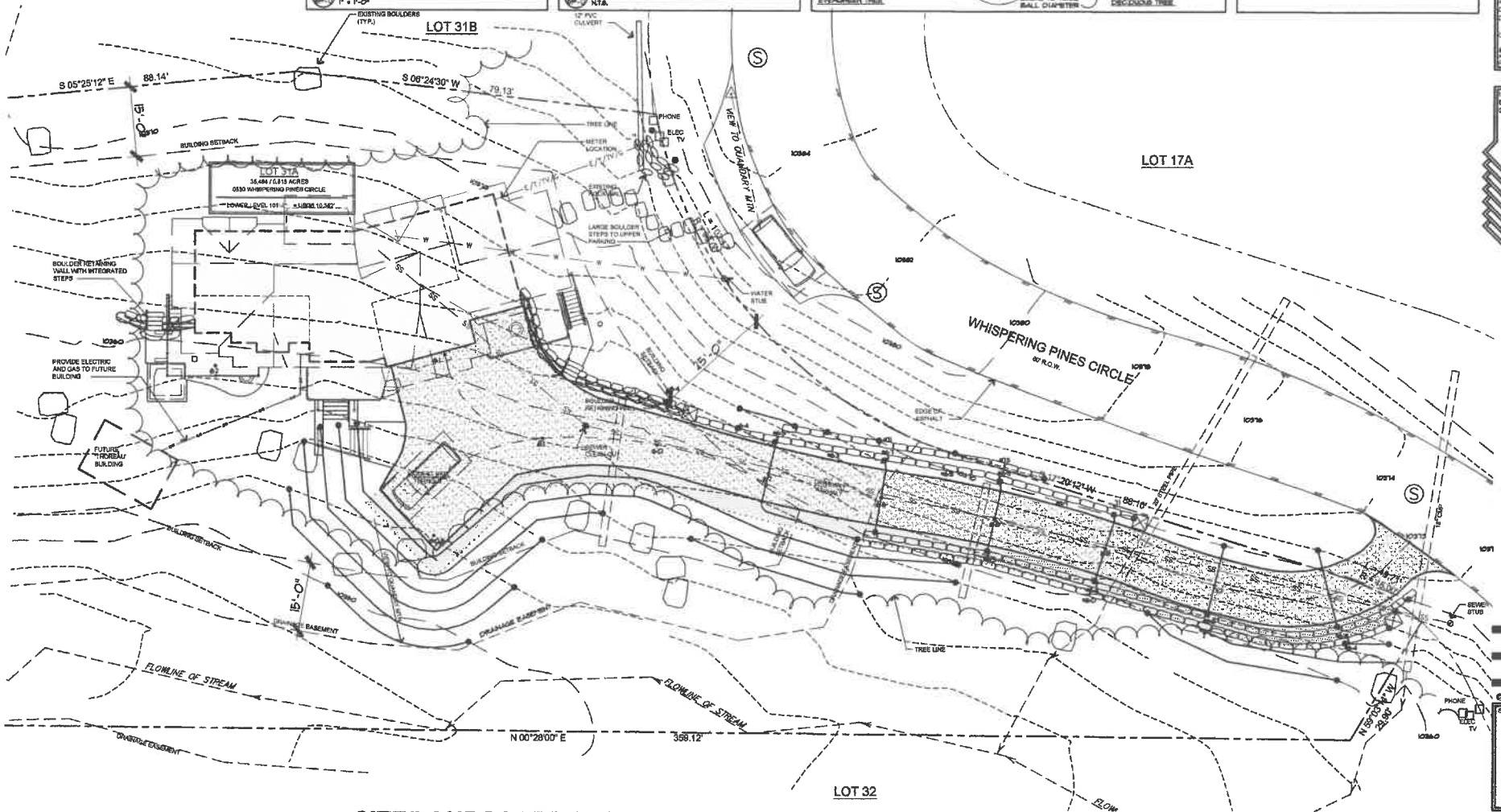
03-25-22



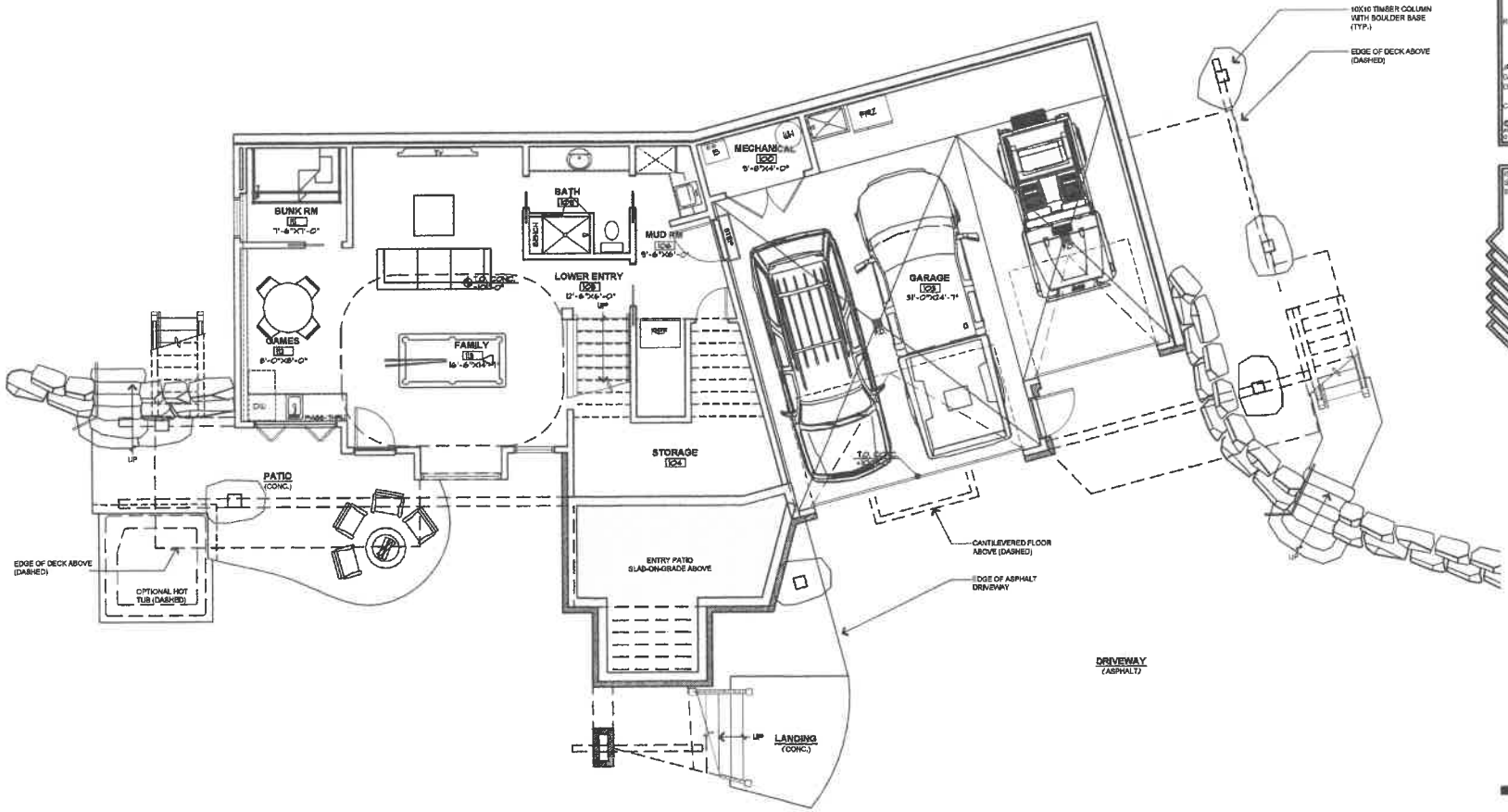
SITE/LANDSCAPE PLAN

SCALE: 1" = 10'-0"

bhh Partners
P.O. BOX 931 180 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-5680

KIM'S WAY - SELSTROM RESIDENCE
0530 WHISPERING PINES CIRCLE, LOT 31A TIMBER CREEK ESTATES BLUE RIVER, COLORADO

SHEET NUMBER
SP1.2
SITE/LANDSCAPE PLAN



LOWER LEVEL PLAN

SCALE: 1/4" = 1'-0"

907 FINISHED SQ. FT.
862 UNFINISHED SQ. FT.

0' 2' 4' 8'

NORTH

PRELIMINARY NOT FOR CONSTRUCTION

REVISIONS:

JOB NO: 11035
DATE: 03-18-22
DRAWN BY: T. SHAFFER
CHECKED BY: M. HOGAN

ISSUED FOR:
SKETCH PLAN REVIEW
03-18-22

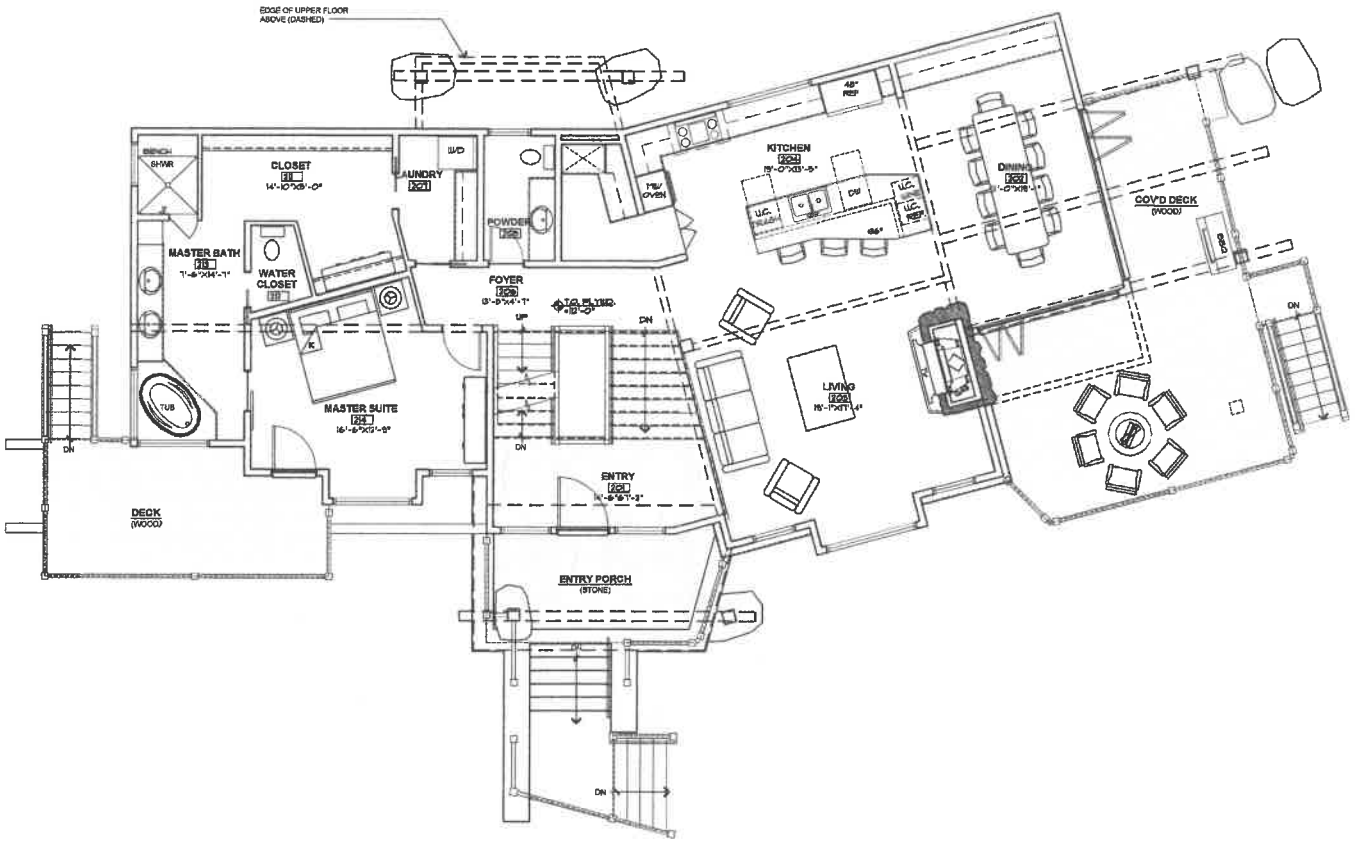
bhh Partners
P.O. BOX 931 100 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-6810

KIM'S WAY - SELSTROM RESIDENCE

650 WHISPERING PINES CIRCLE, LOT 51A TIMBER CREEK ESTATES BLUE RIVER, COLORADO

SHEET NUMBER:

A1.1
LOWER LEVEL PLAN



MAIN LEVEL PLAN

SCALE: 1/4" = 1'-0"

1,810 FINISHED SQ. FT.

0' 2' 4' 8' NORTH

PRELIMINARY
NOT FOR
CONSTRUCTION

REVISIONS:

JOB NO: 11038
DATE: 03-16-22
DRAWN BY: T. SHAFFER
CHECKED BY: M. HOGAN

ISSUED FOR:
SKETCH PLAN REVIEW
03-16-22

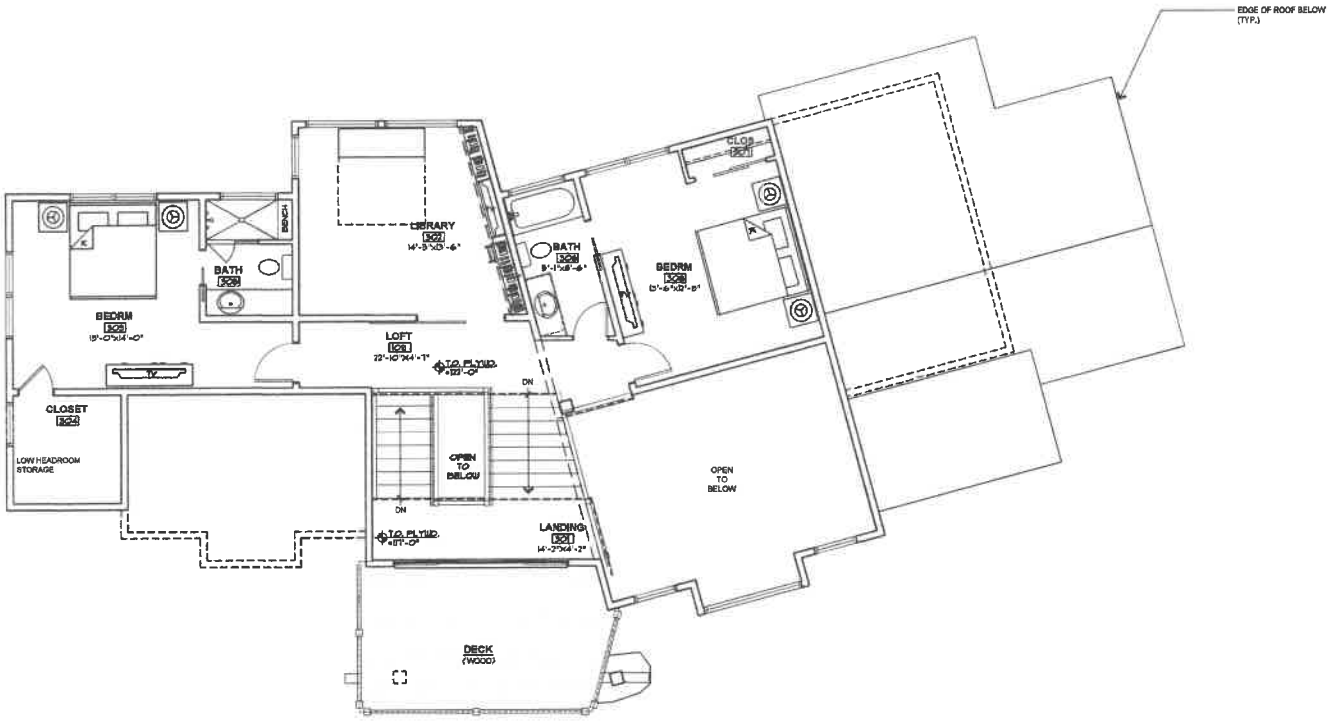
bhh Partners
P.O BOX 931 160 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-6890

KIM'S WAY - SELSTROM RESIDENCE

530 WHISPERING PINES CIRCLE, LOT 31A TIMBER CREEK ESTATES BLUE RIVER, COLORADO

SHEET NUMBER:

A1.2
MAIN LEVEL PLAN



UPPER LEVEL PLAN

SCALE: 1/4" = 1'-0"

891 FINISHED SQ. FT.

0' 2' 4' 8'

NORTH

PRELIMINARY
NOT FOR
CONSTRUCTION

REVISIONS:

JOB NO: 11036
DATE: 03-25-22
DRAWN BY: T. SHAFFER

CHECKED BY: M. HOGAN

ISSUED FOR:
SKETCH PLAN REVIEW
03-25-22

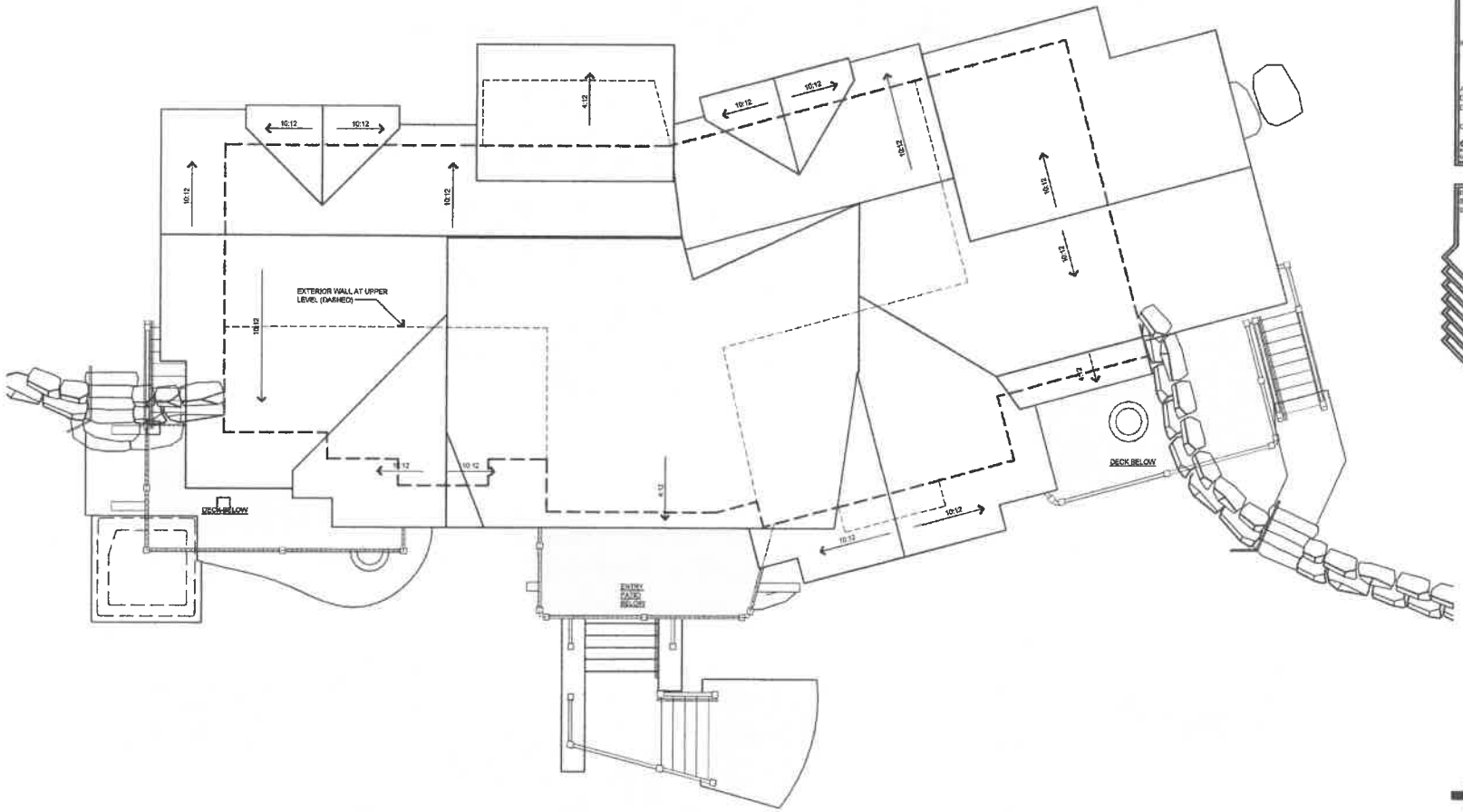
bhh Partners
P.O. BOX 861 100 EAST FOWLER BRECKENRIDGE, CO 80424 (970) 453-6020

KIM'S WAY - SELSTROM RESIDENCE

650 WHISPERING PINES CIRCLE, LOT 51A, TIMBER CREEK ESTATES BLUE RIVER, COLORADO

SHEET NUMBER:

A1.3
UPPER LEVEL PLAN



ROOF PLAN

SCALE: 1/4" = 1'-0"

0' 2' 4' 8'

NORTH

PRELIMINARY NOT FOR CONSTRUCTION

REVISIONS:

JOB NO: 11036
DATE: 03-25-22
DRAWN BY: T. SHAFFER
CHECKED BY: M. HOGAN

ISSUED FOR SKETCH PLAN REVIEW 03-25-22

bhh Partners
P.O BOX 831 100 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-6880

KIM'S WAY - SELSTROM RESIDENCE

630 WHISPERING PINES CIRCLE, LOT 31A TIMBER CREEK ESTATES BLUE RIVER, COLORADO

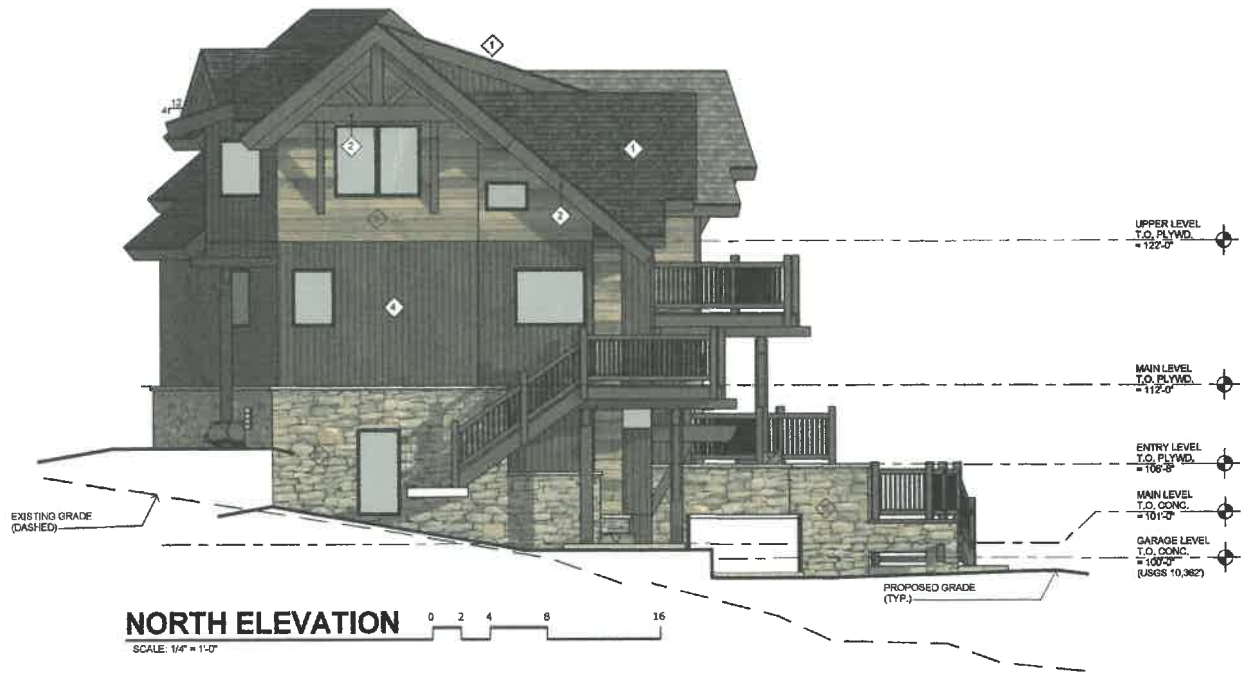
SHEET NUMBER:

A1.4

ROOF PLAN

WEST ELEVATION

SCALE: 1/4" = 1'-0"



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

MATERIAL LEGEND

1 SHINGLE ROOFING	
2 FASCIA & BEAMS	
3 WINDOW CLADDING	
4 VERTICAL SIDING & SOFFITS	
5 HORIZONTAL SIDING	
6 SURFACE STONE	
7 METAL ROOFING	

NOTE: MATERIALS ARE TYPICAL FOR ALL ELEVATIONS, REFER TO ASSOCIATED COLOR BOARD FOR ADDITIONAL INFORMATION

PRELIMINARY NOT FOR CONSTRUCTION

REVISIONS:

JOB NO:	11036
DATE:	03-25-22
DRAWN BY:	C. ECKEL
CHECKED BY:	M.HOGAN

ISSUED FOR:
SKETCH PLAN REVIEW
03-25-22

bhh Partners
P.O. BOX 681 150 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-8080

SELSTROM RESIDENCE

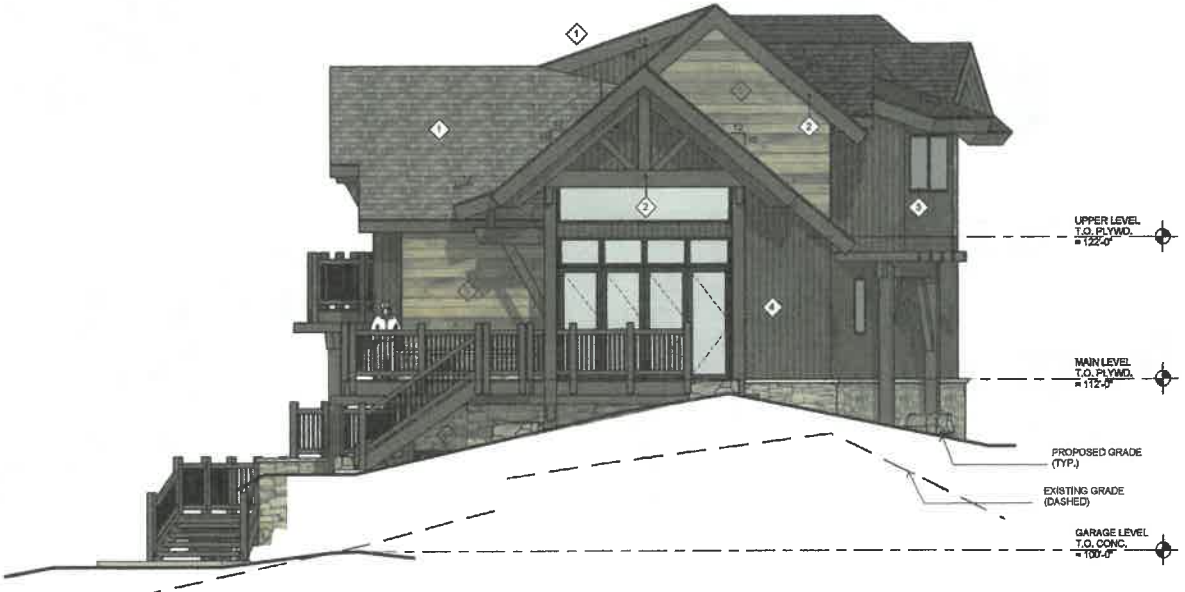
833 WISPERING PINES CIRCLE, LOT 31A TIMBER CREEK ESTATES BLUE RIVER, COLORADO

A2.1
BUILDING ELEVATIONS

EAST ELEVATION

SCALE: 1/4" = 1'-0"

0 2 4 8 16



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

0 2 4 8 16

MATERIAL LEGEND

1 SHINGLE ROOFING	
2 FASCIA & BEAMS	
3 WINDOW CLADDING	
4 VERTICAL SIDING & SOFFITS	
5 HORIZONTAL SIDING	
6 SURFACE STONE	
7 METAL ROOFING	

NOTE: MATERIALS ARE TYPICAL FOR ALL ELEVATIONS. REFER TO ASSOCIATED COLOR BOARD FOR ADDITIONAL INFORMATION

PRELIMINARY NOT FOR CONSTRUCTION

REVISIONS:

JOB NO:	11038
DATE	03-25-22
DRAWN BY:	C. ECKEL
CHECKED BY:	M.HOGAN

ISSUED FOR:
SKETCH PLAN REVIEW
03-25-22

bhh Partners
P.O. BOX 691 100 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-8880

SELSTROM RESIDENCE

830 WHISPERING PINES CIRCLE, LOT 81A TIMBER CREEK ESTATES BLUE RIVER, COLORADO

A2.2
BUILDING ELEVATIONS

3D MODEL SHOTS

NOT TO SCALE

PRELIMINARY NOT FOR CONSTRUCTION

REVISIONS:

JOB NO: 11036
DATE: 03-25-22
DRAWN BY: jbouskeeper
CHECKED BY: shogan

ISSUED FOR:
SKETCH PLAN REVIEW
03-28-22

bhh Partners
P.O. BOX 531 · 100 EAST ADAMS · BRECKENRIDGE, CO 80424 · (970) 453-6800

KIM'S WAY - SELSTROM RESIDENCE

830 WHISPERING PINES CIRCLE, LOT 31A, TIMBER CREEK ESTATES BLUE RIVER, COLORADO

SHEET NUMBER:

A2.3

TO:	Michelle Eddy, CMC/CPM - Town Manager/Clerk
FROM:	Thomas Marshall, Plan Reviewer - CAA
DATE:	April 19, 2022
RE:	Planning/Zoning/Architectural Guidelines review – 0830 Whispering Pines Circle

Below please find staff's analysis that outlines the review with the Town's Zoning regulations and adopted Architectural Design Guidelines for the structure proposed at 0830 whispering Pines Circle

Zoning Regulation analysis –

Proposal:	A new single-family residence with an attached garage. The proposed 3 story, 3 bedroom, 4.5 bath home, includes 3,708 s.f. of living space and an attached 774 s.f., 3 vehicle garage for a combined 4,4482 square feet.
Zoning district:	PRD
Lot Size:	~ 35,484 sq. ft. 80,000 sq. ft. Required– Existing Non-Conforming
Lot Width:	~ 122.88' 100 ft. Required - Complies
Setbacks:	Proposed principal residence complies with required setbacks based upon submitted docs.
Height:	Complies with required height limitations. The height at the highest roof ridge is proposed at 34.85'
Garage Stds:	The proposed garage is ~774 sq. ft. and complies with the standards for structures less than 5,000 sq. ft. in habitable size.
Parking Stds:	Parking requirements will be met through the proposed garage and exterior parking.

Architectural Design Guideline analysis -

Please note the following key to the interpretation of the analysis table:

Y	Element is in substantial compliance with the design guidelines
N	Does not comply with the design guidelines
	Requires additional information from applicant
N/A	Not Applicable to the application

STANDARD	NOTES/REMARKS	SUBSTANTIAL COMPLIANCE
DEVELOPMENT STANDARD		
VI. B. Building Envelope	The proposed principal residence is properly sited within required setbacks. The submitted site plan depicts compliance. **Note: A future accessory "Thoreau" building (cabin) is proposed within the building setback to the Northwest of the principal residence. Electric and gas stub outs are identified within the scope of this application. No architectural details or floorplans have been provided. This structure shall require a separate application to establish compliance.**	
VI. C. Building Siting	Structure is proposed in context with natural drainage patterns, contours, and landforms.	Y
VI. D. Grading and Drainage	Cut and fill slopes have been kept to a minimum and final grading is proposed to avoid unnaturally broad, flat surfaces. **Please indicate the positive drainage away from the structure on the East and Southeast sides of the home and garage.**	N
VI. E. Driveways	Proposed asphalt driveway. Snow storage area calculations are provided, **but the snow storage area is not depicted off the driveway. Please revise to reflect the minimum required area of 25% of the driveway and parking surfaces.**	N

	Additional boulder steps and (upper level) tandem parking is proposed outside of the parcel boundary adjacent to the road.	
VI. F. Parking / Garages	The proposed attached three vehicle garage complies.	Y
VI. G. Exterior Equipment and Satellite Dishes	A 30' flagpole is proposed within the building envelope. **Materials and location are subject to further review by the Town.**	
VI. H. Easements and Utilities	A drainage easement, pedestrian easement, and R.O.W. easement are each identified on the plans. **Please provide basin, pipe dimension and materials for the unlabeled drainage pipes which are located under the driveway.**	
VI. I. Recreation Facilities	A future Hot Tub is indicated on the Northwest corner of the home. **Two fire pits are illustrated. Please provide clarification considering RWB and Fuel/Gas code amendments regarding the construction and use of fire pits on or near combustible structures.**	
VI. J. Signage	An illuminated stone address bollard is identified on the plans.	Y
VI. K. Pathways /Walkways	The proposed landings, pathways, and walkways comply. See notes regarding the upper-level parking access steps.	
VI. L. Wetlands	No wetlands are identified on the plan.	N/A
VI. M. Wildfire Regulations	Many of the required regulations are operational requirements post-construction.	Y
ARCHITECURAL GUIDLINES		
VII. B. Building Forms	Proposed foundation walls merge with the existing grade, vertical walls appear to be illustrated with appropriate materials. A combination of exposed wood and wooden piers wrapped in adhered stone are supporting the decks and	Y

VII. C. Setbacks	The proposed structures sit within the required setbacks per the submitted site plan. **The proposed tandem upper-level parking sits outside of the setbacks.**	N
VII. D. Building Height	Building complies with zoning district requirements.	Y
VII. E. Roofs	Roofs are comprised of varied primary and secondary roof forms. Primary slopes are 10:12 which is consistent with the suggested standards of 4:12 – 12:12 for primary roofs. The primary roof cover is identified as a shingle. The proposed 4:12 slope of the metal roof depicted on the Western elevation complies with the suggested standards. **A color board is referenced but was not provided. Please also indicate the distance of roof overhangs**	
VII. F. Exterior Wall Materials	**Elevations depict what appears to be a combination of adhered stone, and both vertical and horizontal applications of wood or other material siding. The material legend provided requires further clarification. The required color board was not provided.**	N
VII. G. Exterior Trim	**Fascia and Beam materials and colors are not specified.**	N
VII. H. Windows and Doors	Windows, doors, and garage doors are proportional to the structure and appear in general compliance. **Although depicted in the elevations as dark, the required color and materials board was not included.**	
VII. I. Balconies and Railings	Railings are light in appearance and the pattern is largely open. **Railing material and guard materials are not specified. Please provide more data.**	
VII. J. Chimneys and Roof Vents	**Please show chimneys and/or roof vent locations and material use.**	N
VII. K. Exterior Colors	**Please provide a specific color board.**	N
VII. L.	Appear to be in general conformance.	Y

Solid Waste Collection and Service Areas		
SITE ELEMENTS		
VIII. A. Retaining Walls, Landscape Walls, Fences, and Screening	The proposed site plans indicate several boulder walls less than 6' in height and steps within the building setback. **Please address the proposed stone steps from the home to the upper-level parking outside the building setback.**	N
VIII. B. Terraces, Patios, Walkways and Decks	Decks, walkways, and pathways within the building setback are proportional to the proposed structure design. **See the note in VIII. A.**	Y
VIII. C. Driveway Paving Surfaces	Driveway and parking area material is asphalt. **The snow storage area is not depicted.**	N
VIII. D. Exterior Landscape Lighting	**Please provide the proposed exterior lighting cut sheets.**	N
IX. B. Submittal Requirements	**Please provide a construction management plan.**	N

KIM'S WAY-SELSTROM RESIDENCE

GENERAL NOTES

1) COPYRIGHT:
All plans, designs, and concepts shown in these drawings are the exclusive property of BHH Partners, Planners and Architects, A.I.A.P.C., and shall not be used, disclosed, or reproduced for any purpose whatsoever without the Architect's written permission.

2) CODES:
The project is governed by the applicable building code as adopted by the jurisdiction of record in Colorado. Code compliance is mandatory. The drawings and specifications shall not permit work that does not conform to these codes. The General Contractor and Subcontractors shall be responsible for satisfying all applicable codes and obtaining all permits and required approvals. Building areas are shown for code purposes only and shall be recalculated for any other purposes.

3) FIELD VERIFICATION:
Verify all dimensions, conditions, and utility locations on the job site prior to beginning any work or ordering any materials. Notify Architect of any conflicts or discrepancies in the drawings immediately.

4) DIMENSIONS:
Written dimensions always take precedence over scaled dimensions. DO NOT SCALE DRAWINGS. Verify all dimensions shown prior to beginning any work and notify Architect of any conflicts or discrepancies for interpretation or clarification. Plan dimensions are to the face of framing members, face of wood furring or face of concrete walls unless otherwise noted. Section or elevation dimensions are to top of concrete, top of plywood, or top of wall plates or beams unless otherwise noted.

5) DISCREPANCIES:
The Owner has recognized the Architect to provide limited architectural and engineering services. In the event additional details or guidance is needed by the Contractor for completion of any aspect of this project, he shall immediately notify the Architect. Failure to give simple notice shall relieve the Architect of responsibility. Do not proceed in areas of discrepancy until all such discrepancies have been fully resolved with written direction from the Architect.

6) DUTY OF COOPERATION:
Release of these plans contemplates further cooperation among the Owner, his Contractor, and the Architect. Design and consultations are complex. Although the Architect and his Consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is important, and every contingency cannot be anticipated. Any Ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the Architect. Failure to notify the Architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the Architect shall relieve the Architect from responsibility for all consequences.

7) CHANGES TO THE WORK:
Any items described herein that impact project budget or time shall be requested from the Contractor via a written change order request prior to each work. Performance of such work without approval by change order indicates General Contractor's acknowledgment of no increase in contract sum or time. Changes from the plans or specifications made without consent of the Architect are unauthorized and shall relieve the Architect of responsibility for any and all consequences resulting from such changes.

8) WORKMANSHIP:
It is the intent and meaning of these drawings that the Contractor and each Subcontractor provide all labor, materials, transportation, supplies, equipment, etc., to obtain a complete job within the recognized standards of the industry.

9) SUBSTITUTIONS:
Substitution of "equal" products will be acceptable with Architect's written approval. See specifications.

10) CONSTRUCTION SAFETY:
These drawings do not include the necessary components for construction safety. The General Contractor shall provide for the safety, care of utilities and adjacent properties during construction, and shall comply with state and federal safety regulations.

11) EXCAVATION PROCEDURES:
Upon completion of any excavation, the Owner shall retain a soils engineer to inspect the subsurface conditions in order to determine the adequacy of foundation design. See specifications. CONTRACTOR SHALL NOT POUR ANY CONCRETE UNTIL APPROVAL IS OBTAINED FROM SOILS ENGINEER.

12) FIELD CUTTING OF STRUCTURAL MEMBERS:
The General Contractor and Subcontractors shall field coordinate and obtain approval from Engineer before any cutting, notching or drilling of any cast-in-place concrete, steel framing, or any other structural elements which may affect the structural integrity of the building. Refer to the appropriate Code Requirements, manufacturer's or supplier's instructions, and structural drawings for additional requirements.

13) WEATHER CONDITIONS:
The Owner has been advised that due to harsh winter conditions, roof and deck surfaces must be maintained reasonably free of ice and snow to assure minimal problems with these surfaces. All roofing, roofing membranes, and waterproofing shall be approved in writing by product manufacturer (M.R. Grace for bituthene, etc.) prior to proceeding with any work. Failure to provide these written approvals removes all responsibility for the work from the Architect.

14) BUILDING AREA
Building areas are shown for code purposes only and shall be recalculated for any other use.

15) PROJECT STAKING
The general contractor shall verify all existing grades and stake all building corners and the driveway location for Owner/Architect and jurisdiction approval prior to beginning any site staking.

16) SITE DISTURBANCE
It is the responsibility of the contractor to protect the existing trees to remain and adjacent properties from damage during construction. Provide protective fencing throughout construction.

17) PROJECT GRADES
The general contractor shall check and verify all grades indicating paved area slopes prior to pouring any foundations. Survey work should be verified in detail. See numbers 5 and 6.

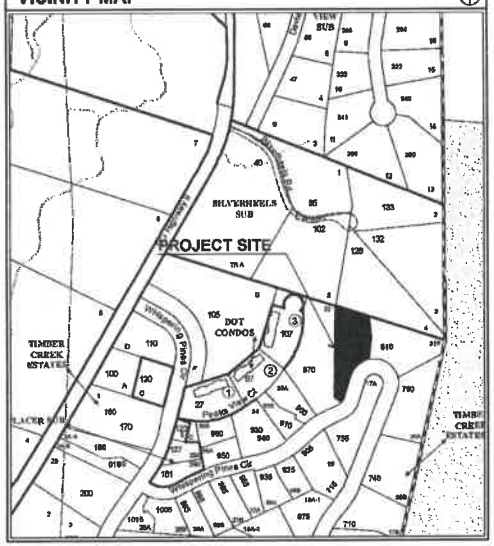
18) EXTERIOR MATERIAL MOCK UP
The General Contractor shall provide a mock up of all exterior materials for review by the Owner. This mock up shall be provided and signed off in writing prior to any exterior stain or exterior finish work. The sample shall include lumbs, trim, window cladding and all other exterior finishes including a 3'-0"x3'-0" (min) sample of exterior stonework if applicable. This mock up shall be retained on site until the final punch.

19) 3D MODELING
This project has been digitally modeled in 3d software. The digital model is provided for reference purposes only. Transmission of digital model files constitutes a warranty by the party transmitting files to the party receiving files that the transmitting party is the copyright owner of the digital data. Unless otherwise agreed in writing, any use of transmission of, or reliance on the model is at the receiving party's risk, the contractor shall notify the architect of questions or coordination issues between the contract documents and digital mo

Please see the architectural review analysis and the red-line comments on this submittal.

VIEW FROM SOUTHWEST

VICINITY MAP



AREA CALCULATIONS

	UNFINISHED	FINISHED	TOTAL
LOWER	662 S.F.	930 S.F.	1,792 S.F.
MAIN	00 S.F.	1,809 S.F.	1,809 S.F.
UPPER	00 S.F.	891 S.F.	891 S.F.
	662 S.F.	3,630 S.F.	4,492 S.F.

NOTE: SQUARE FOOTAGES ARE CALCULATED FOR CODE PURPOSES ONLY AND SHOULD BE RECALCULATED FOR ANY OTHER PURPOSES .

FINISHED FLOOR ELEVS.

	U.S.G.S.	ARCHITECTURAL
LOWER	10,362'	100'-0"
MAIN	10,374'	112'-0"
UPPER	10,384'	122'-0"

LEGAL DESCRIPTION

LOT 31A
FILING #2
TIMBER CREEK ESTATES

36,494 SQ. FT./0.815 ACRES

PHYSICAL ADDRESS:
830 WHISPERING PINES CIRCLE
BLUE RIVER, COLORADO

SHEET INDEX

PRELIMINARY NOT FOR CONSTRUCTION

REVISIONS:

JOB NO: 11038
DATE: 03-25-22
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CHECKED BY: M.HOGAN

ISSUED FOR:
SKETCH PLAN REVIEW
03-25-22

bhh Partners
P.O BOX 931 160 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-6880

KIM'S WAY - SELSTROM RESIDENCE
830 WHISPERING PINES CIRCLE, LOT 31A, TIMBER CREEK ESTATES BLUE RIVER, COLORADO

SHEET NUMBER:

T1.1
TITLE SHEET, GENERAL NOTES, SCHEDULES AND INFORMATION

OWNER:
Kim and JOHN SELSTROM
8907 DAWLEY COURT
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ARCHITECT:
BHH Partners, Planners and Architects
160 EAST ADAMS STREET
P. O. BOX 931
BRECKENRIDGE, CO 80424
(970) 453-6880 (970) 453-8886 FAX
bhhaffiliates@bhhpartners.com

CONTRACTOR:
TRILOGY PARTNERS, LLC
P.O. BOX 5636
BRECKENRIDGE, CO 80424
(970) 453-2230
michael@trilogystudios.com

STRUCT'L. ENGINEER:
DOWNSTREAM WORKS
1199 HILLTOP PKWY., UNIT 206A
STEAMBOAT SPRINGS, CO 80487
(970) 879-4890
(970) 879-1906 FAX
scott@gotrigotly.com

SURVEYOR:
RANGE WEST SURVEYORS
PO BOX 680
SILVERTHORNE, COLORADO 80498
(970) 468-5251

SOILS ENGINEER:
TRIGEOLD ENGINEERING AND CONSTRUCTION SERVICES
ROB THEOBALD
1000 AIRPORT ROAD
BRECKENRIDGE, CO 80424
(970) 453-7878 WORK AND CELL

REVEGETATION NOTES

REVEGETATE ALL DISTURBED AREAS ON THE SITE WITH:

SHORT DRY GRASS MIX @ 2 LBS/1000 SF:

HARD FESCUE	30%
CREEPING RED FESCUE	30%
SHEEP FESCUE	25%
CANADA BLUEGRASS	10%
CANBY BLUEGRASS	5%

MOUNTAIN MAGIC WILDFLOWER MIX @ 1 LB/10,000 SF:

BABY'S BREATH	BLANKETFLOWER
CALIFORNIA POPPY	SHIRLEY POPPY
BLUE FLAX	LUPINE MIX
WALLFLOWER	MAIDEN PINKS
PENSTEMON, ROCKY MOUNTAIN	
WILD THYME	

SLOPES OVER 3:1 SHALL BE HAY TACKIFIED OR NETTED.

DEFENSIBLE SPACE NOTES

THIS PLAN TO SATISFY TOWN OF BRECKENRIDGE SUBDIVISION STANDARDS FOR RIDGELINE AND HILLSIDE DEVELOPMENT AND BRECKENRIDGE TOWN CODE DEVELOPMENT CODE STANDARDS FOR DEFENSIBLE SPACE.

15' ZONE 1: - ALL TREES TO BE REMOVED WITH EXCEPTION OF SPECIMEN TREES (S) TO BE APPROVED BY T.O.B. (ONLY HEALTH TREES TO BE PRESERVED). FOUNDATION PLANTING MATERIAL TO BE ADDED TO SCREEN THE HOUSE FROM BELOW.

30' ZONE 2: - TREES TO BE REMOVED TO ALLOW 10' BETWEEN CANOPIES WITH EXCEPTION OF CLUSTERS TO BE APPROVED BY T.O.B. (ONLY HEALTHY TREES TO BE PRESERVED)

75' ZONE 3: - TREES TO BE REMOVED TO ALLOW 10' BETWEEN CANOPIES WITH EXCEPTION OF CLUSTERS TO BE APPROVED BY T.O.B. (ONLY HEALTHY TREES TO BE PRESERVED)

NOTE: NEW LANDSCAPING HAS BEEN ADDED TO PROVIDE ADDITIONAL SCREENING ENCOURAGED BY THE RIDGELINE ORDINANCE, WHICH MITIGATES LOSS OF SCREENING DUE TO DEFENSIBLE SPACE ORDINANCE.

NOTE: NO BEETLE KILL TREES EXIST ON SITE. ALL HAVE BEEN REMOVED OR WERE NOT PRESENT ON SITE.

The text refers to the Town of Breckenridge. Please revise.

BUILDING HEIGHT TABLE

RIDGE POINT	RIDGE ELEVATION	NATURAL GRADE ELEVATION (APPROX.)	FINISHED GRADE ELEVATION	AS MEASURED FROM	CALCULATIONS	HEIGHT
A	10,398.75'	10,364.50'	10,362.00'	NATURAL GRADE	10,398.75' - 10,364.50'	34.25'
B	10,398.75'	10,361.00'	10,362.00'	NATURAL GRADE	10,398.75' - 10,361.00'	37.75'
C	10,398.75'	10,363.50'	10,362.50'	NATURAL GRADE	10,398.75' - 10,363.50'	34.25'
D	10,398.02'	10,368.50'	10,369.50'	NATURAL GRADE	10,398.02' - 10,368.50'	29.52'
E	10,394.25'	10,360.00'	10,361.00'	NATURAL GRADE	10,394.25' - 10,360.00'	34.25'
F	10,393.33'	10,359.00'	10,359.00'	NATURAL GRADE	10,393.33' - 10,359.00'	34.33'

REQUIRED SNOWSTACK

HARDSCAPE (PATIOS, WALKS & DRIVEWAY)	3,648 S.F.	100%
REQ'D SNOW STACK (25% OF HARDSCAPE)	912 S.F.	25%
TOTAL SNOW STACK PROVIDED	985 S.F.	29%

LOT COVERAGE

	SQ. FT.	%
BUILDING (INCLUDES OVERHANGS)	00 S.F.	0%
HARDSCAPE (DECKS, PATIOS, WALKS & DRIVEWAY)	00 S.F.	0%
OPEN SPACE	00 S.F.	0%
TOTAL LOT SIZE	35,464 S.F.	100%

SITE NOTES

1. ELECTRIC, CABLE T.V. AND TELEPHONE UNDERGROUND IN COMMON TRENCH
2. VERIFY ALL UTILITY LOCATIONS PRIOR TO ANY WORK. COORDINATE UTILITY ROUTING WITH APPLICABLE UTILITY COMPANY. ALL UTILITIES TO BE UNDERGROUND
3. TOPOGRAPHIC INFORMATION OBTAINED FROM RANGE WEST ENGINEERS AND SURVEYORS INC. JOB #13079
4. PROVIDE POSITIVE DRAINAGE AT BUILDING PERIMETER (SLOPE AWAY FROM BUILDING AT 1:12 MIN.)
5. REFER TO FOUNDATION PLAN FOR FOUNDATION DRAIN LOCATION AND SLOPE. DRAINS TO BE SLOPED TO DAYLIGHT TO NATURAL TRENCH
6. FLAG ALL TREES FOR OWNER PRIOR TO THINNING OR REMOVING
7. PROTECT ALL REMAINING TREES WITH SNOW FENCE OR OTHER APPROVED BARRIER DURING CONSTRUCTION
8. PROVIDE 6" DIA. STONE RIP RAP OVER WEED BARRIER FABRIC AT EAVES AND VALLEY DRIP LOCATIONS
9. STAKE HOUSE LOCATION FOR OWNER, ARCHITECT, AND ARCHITECTURAL REVIEW BOARD PRIOR TO ANY WORK
10. GENERAL CONTRACTOR TO REVIEW & COMPLY WITH ALL SUBDIVISION CONDITIONS. COPIES OF CONDITIONS ARE AVAILABLE FROM ARCHITECT
11. DRIVEWAY SHOWN AS 4% SLOPE FOR FIRST 20' FROM ROAD EDGE OF PAVEMENT AS REQUIRED

Please identify slope and cross slope on the site plan

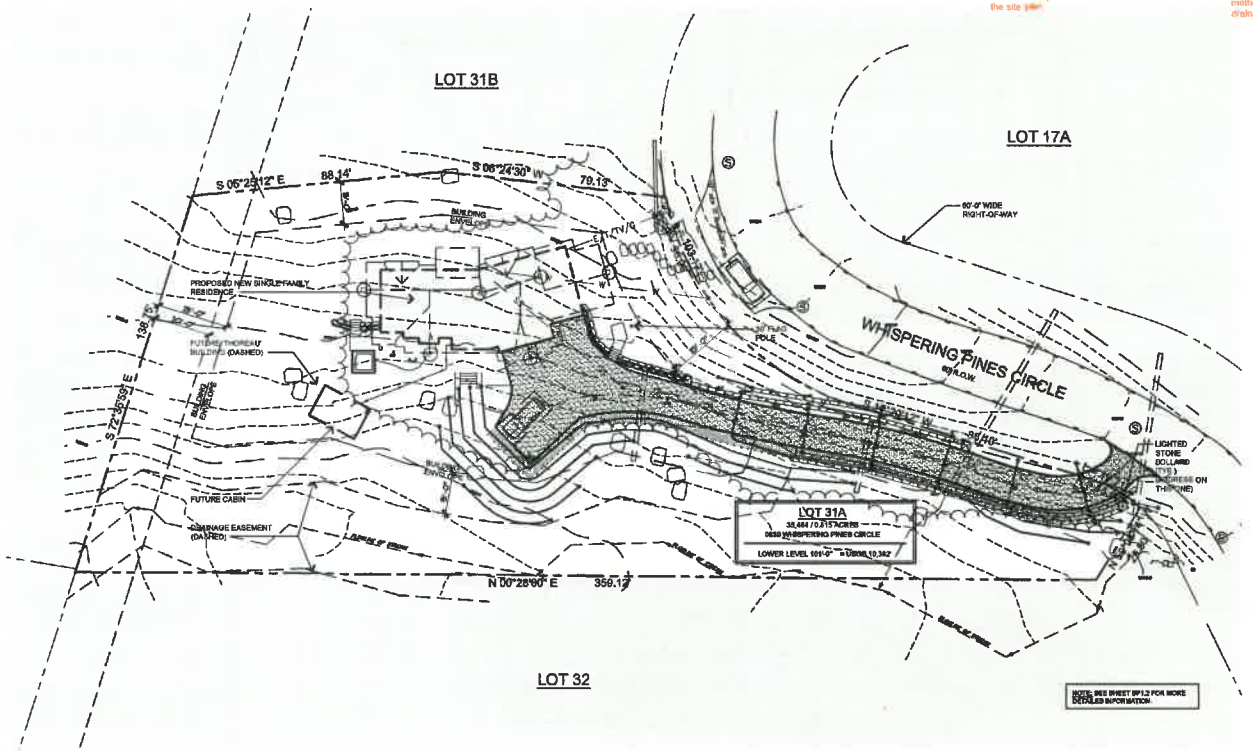
Please detail a swale or other proposed method for positive drainage.

LANDSCAPE NOTES

1. PROVIDE 2"-3" (MIN.) CLAY FREE TOPSOIL AND SEED ALL DISTURBED AREAS WITH SUMMIT CO. SHORT SEED MIX STRIP AND STOCKPILE EXISTING TOPSOIL IN CONSTRUCTION AREA. SCREEN TOPSOIL PRIOR TO INSTALLATION.
2. REMOVE ALL EXISTING TREES WITHIN 15'-0" OFF ALL ROOF OVERHANGS AND DECKS FOR DEFENSIBLE SPACE. KEEP EXISTING TREES WHERE POSSIBLE, TAKING INTO CONSIDERATION DRIP LINES AND ROOT STRUCTURE. PROTECT EXISTING TREES WITH FENCING LOCATED AT OR OUTSIDE DRIP LINE OF TREE. STOCKPILE AND REUSE EXISTING TREES WHERE POSSIBLE.
3. GENERAL CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS PER SPECIFICATIONS AND CODE REQUIREMENTS.
4. PRIOR TO ANY LANDSCAPE WORK, REMOVE ALL DEBRIS, PAINT, CONCRETE, STUMPS, SLASH, ETC. FROM LANDSCAPE AREA.
5. LOCATE ALL PLANTINGS TO AVOID SNOW STACKING & SNOW SLIDE AREAS FROM ABOVE. LOCATE ALL NEW TREES 10'-0" MIN. OF ALL ROOF OVERHANGS AND DECK FOR DEFENSIBLE SPACE.
6. SHRUBS ARE TO BE FIELD LOCATED AS APPROVED BY OWNER AND ARCHITECT.
7. ALL NEW LANDSCAPING TO BE IRRIGATED WITH DRIP IRRIGATION SYSTEM. PROVIDE SUBMITTAL.
8. ALL NEW PLANTINGS SHOULD BE HIGH ALTITUDE GROWN AND OR COLLECTED TO ENSURE BETTER SURVIVAL.
9. NATURALIZE GROUPING OF TREES BY VARYING HEIGHT & LOCATION WHEREVER POSSIBLE.
10. SCREEN ALL UTILITY PEDESTALS WITH LANDSCAPE MATERIAL.
11. PROVIDE 3" TO 4" DIAMETER STONE RIPRAP OVER WEED BARRIER FABRIC AT BUILDING DRIP LINES. UNDULATE EDGES AND PROVIDE LANDSCAPE EDGING AT RIPRAP TO TOPSOIL JUNCTURE.
12. INSTALL & BACKFILL ALL PLANTINGS WITH SOIL MIX INCLUDING ORGANIC SOIL AMENDMENTS PER SPECIES REQUIREMENTS AND LANDSCAPE DETAILS.
13. ROOT FEED ALL NEWLY PLANTED TREES DURING INSTALLATION. PROVIDE LIQUID GROWTH TREE STIMULATOR AND SOLUABLE FERTILIZER AT RECOMMENDED RATE FOR EACH TREE SPECIES.
14. PROVIDE 3" OF SHREDDED BARK MULCH AT ALL SHRUB AND TREE WELLS.
15. LANDSCAPE BOULDERS OF 2' OR LARGER SHALL BE RETAINED ON SITE FOR USE IN LANDSCAPE WORK. BURY DECORATIVE BOULDERS ONE-HALF OF DIAMETER.
16. ADDITIONAL CONSULTATION WITH A QUALIFIED LANDSCAPE PROFESSIONAL AT OWNER OPTION IS RECOMMENDED.

CONTOUR LEGEND

EXISTING MINOR	— — —	DRAINAGE ARROW	←
EXISTING MAJOR	— — —	SPOT GRADE AT DOT	10370
PROPOSED	———		



OVERALL SITE PLAN

SCALE: 1" = 20'-0"

0' 10' 20' 40' NORTH

PRELIMINARY NOT FOR CONSTRUCTION

REVISIONS:

JOB NO: 11034
DATE: 03-25-22
DRAWN BY: T. SHAFFER
CHECKED BY: M. HOGAN

ISSUED FOR: SKETCH PLAN REVIEW 03-25-22

bhh Partners
P.O. BOX 631 160 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-5880

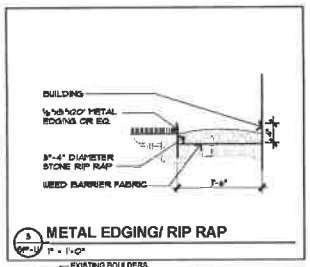
KIM'S WAY - SELSTROM RESIDENCE

830 WHISPERING PINES CIRCLE, LOT 31A TIMBER CREEK ESTATES BLUE RIVER, COLORADO

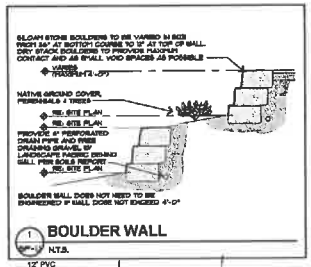
SHEET NUMBER:

SP1.1

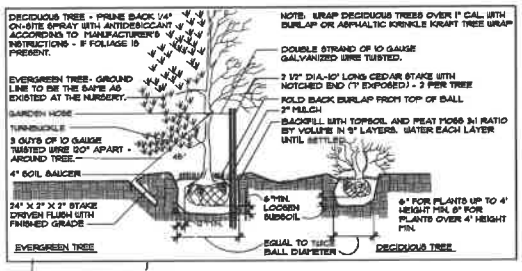
OVERALL SITE PLAN AND NOTES



METAL EDGING/ RIP RAP
1" = 1'-0"



BOULDER WALL
N.T.S.



PLANTING LIST

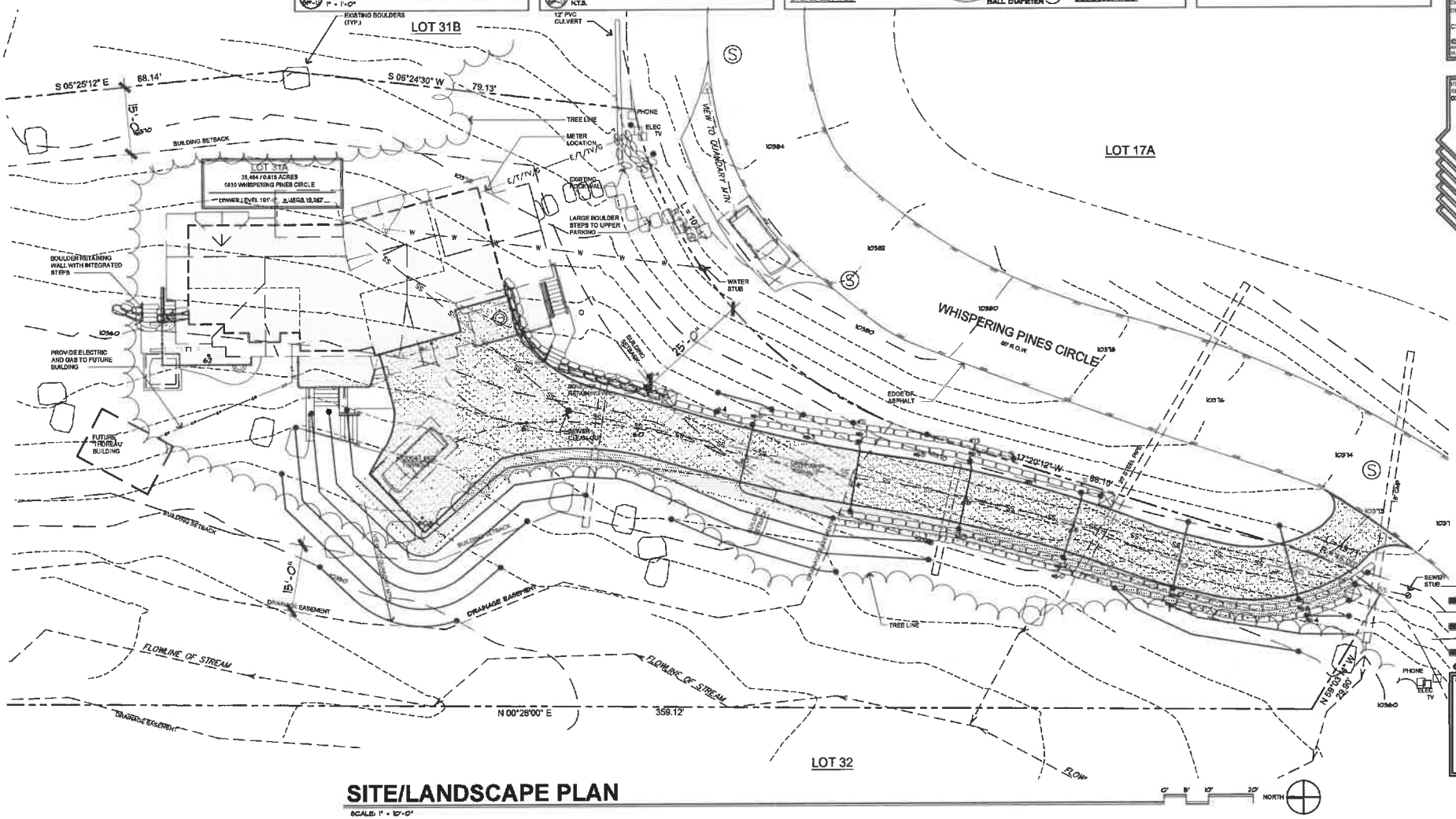
KEY	COMMON	BOTANICAL	NO.	SIZE
EXISTING TREES				
	EXISTING	VARIES-	0	SEE SITE PLAN
EXISTING TREES TO BE REMOVED				
	VARIES-	VARIES-	0	SEE SITE PLAN
EVERGREEN TREES TO BE SHOWN TO BE ADDED				
	COLORADO SPRUCE	PICEA PUNGENS OR PICEA ENGELMANNI	3	11'-13' TALL 10'-12' TALL
	ASPEN	POPULUS TREMULOIDES	16	1IN 3' IN 2" CAL. 60% MULTI-STEM
	POTENTILLA	POTENTILLA FRUTICOSA	10	5 GAL
	BUFFALO JUNIPER	JUNIPERUS SABINA	10	5 GAL
	PEKING COTONEASTER	COTONEASTER DIVARICATUS	10	5 GAL.
	NATIVE GROUND COVER AND PERENNIALS	SEE ASPHALTUB PROVIDE SUBMITTAL	10	1 FLAT

PRELIMINARY NOT FOR CONSTRUCTION

REVISIONS:

JOB NO: 11038
DATE: 03-25-22
DRAWN BY: T. SHAFFER
CHECKED BY: M. HOGAN

ISSUED FOR:
PRELIMINARY PLAN REVIEW
03-25-22



SITE/LANDSCAPE PLAN

SCALE: 1" = 10'-0"

bhh Partners
PLANNERS ARCHITECTS
BRECKENRIDGE, CO 80424 (970) 453-5800

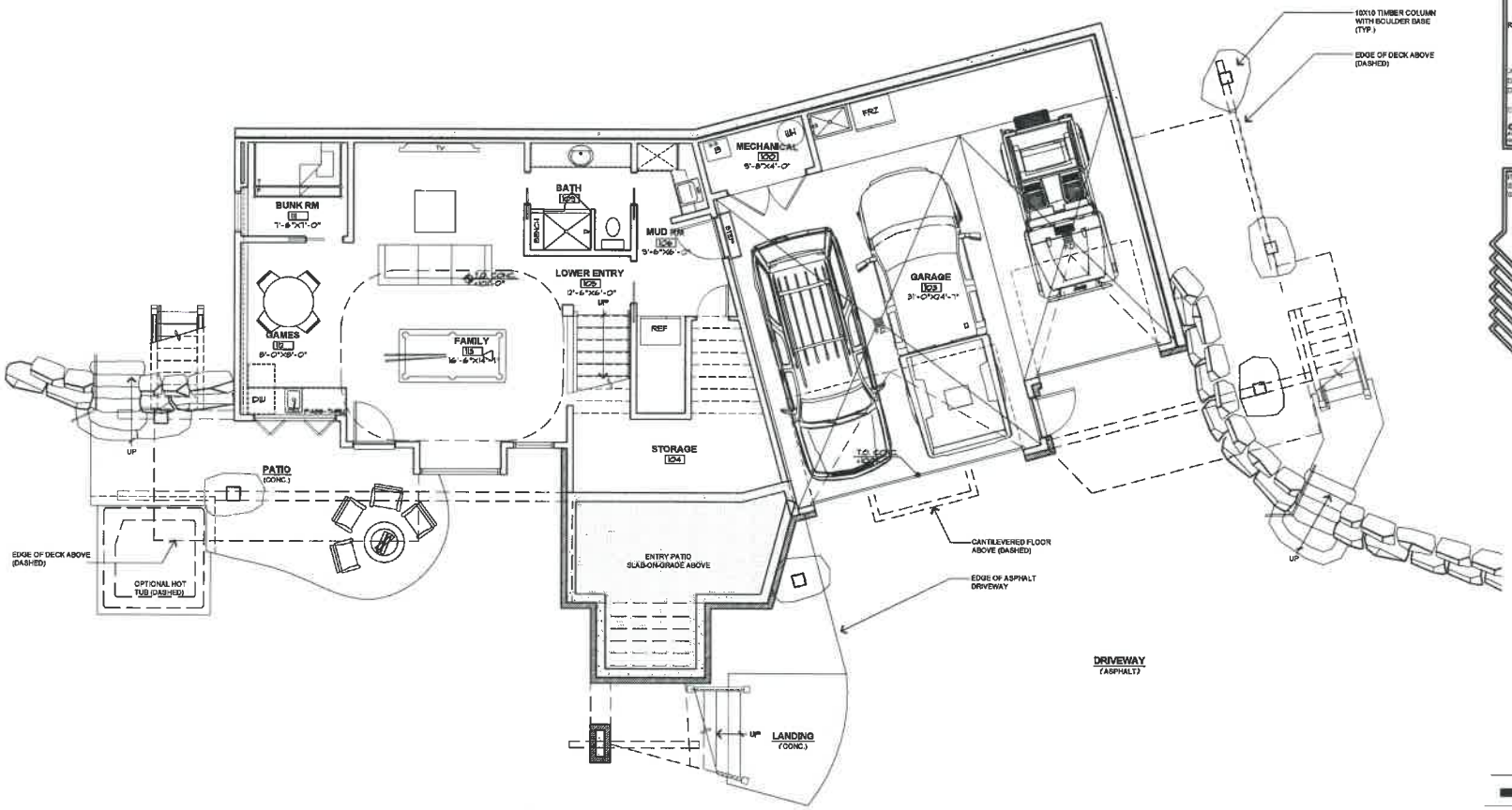
KIM'S WAY - SELSTROM RESIDENCE

830 WHISPERING PINES CIRCLE, LOT 31A TIMBER CREEK ESTATES BLUE RIVER, COLORADO

SHEET NUMBER:

SP1.2

SITE/LANDSCAPE PLAN



LOWER LEVEL PLAN

SCALE: 1/4" = 1'-0"

907 FINISHED SQ. FT.
862 UNFINISHED SQ. FT.

0' 2' 4' 8'

NORTH

PRELIMINARY NOT FOR CONSTRUCTION

REVISIONS:

JOB NO: 11038
DATE: 03-18-22
DRAWN BY: T. SHAFFER
CHECKED BY: M. HOGAN

ISSUED FOR:
SKETCH PLAN REVIEW
03-18-22

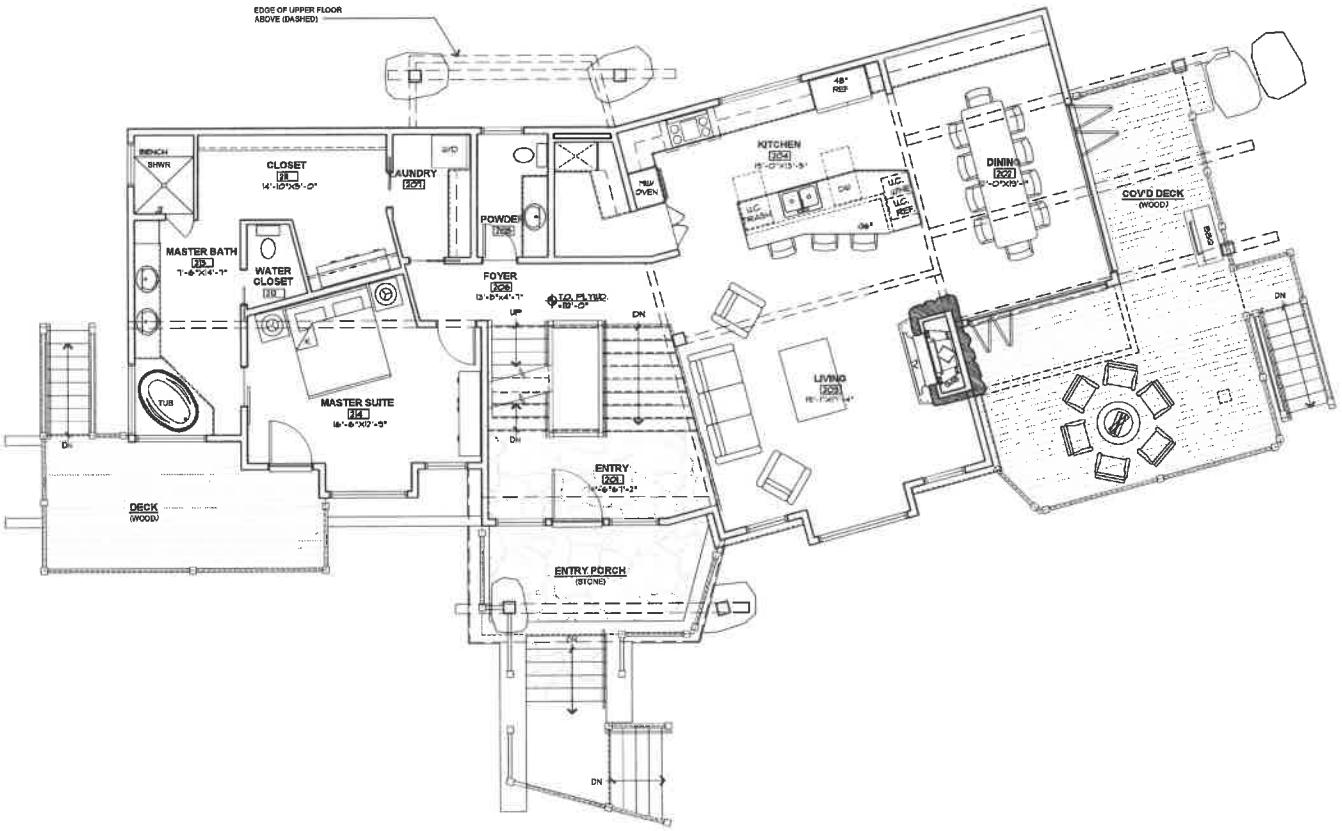
bhh Partners
P.O. BOX 631 100 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-9600

KIM'S WAY - SELSTROM RESIDENCE

830 WHISPERING PINES CIRCLE, LOT 31A TIMBER CREEK ESTATES BLUE RIVER, COLORADO

SHEET NUMBER:

A1.1
LOWER LEVEL PLAN



MAIN LEVEL PLAN

SCALE: 1/4" = 1'-0"

1,810 FINISHED SQ. FT.

0' 2' 4' 8'

NORTH

PRELIMINARY NOT FOR CONSTRUCTION

REVISIONS:

JOB NO: 11035
DATE: 03-18-22
DRAWN BY: T. SHAFFER

CHECKED BY: M. HOGAN

ISSUED FOR:
SKETCH PLAN REVIEW
03-18-22

bhh Partners
P.O. BOX 681 180 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-4580

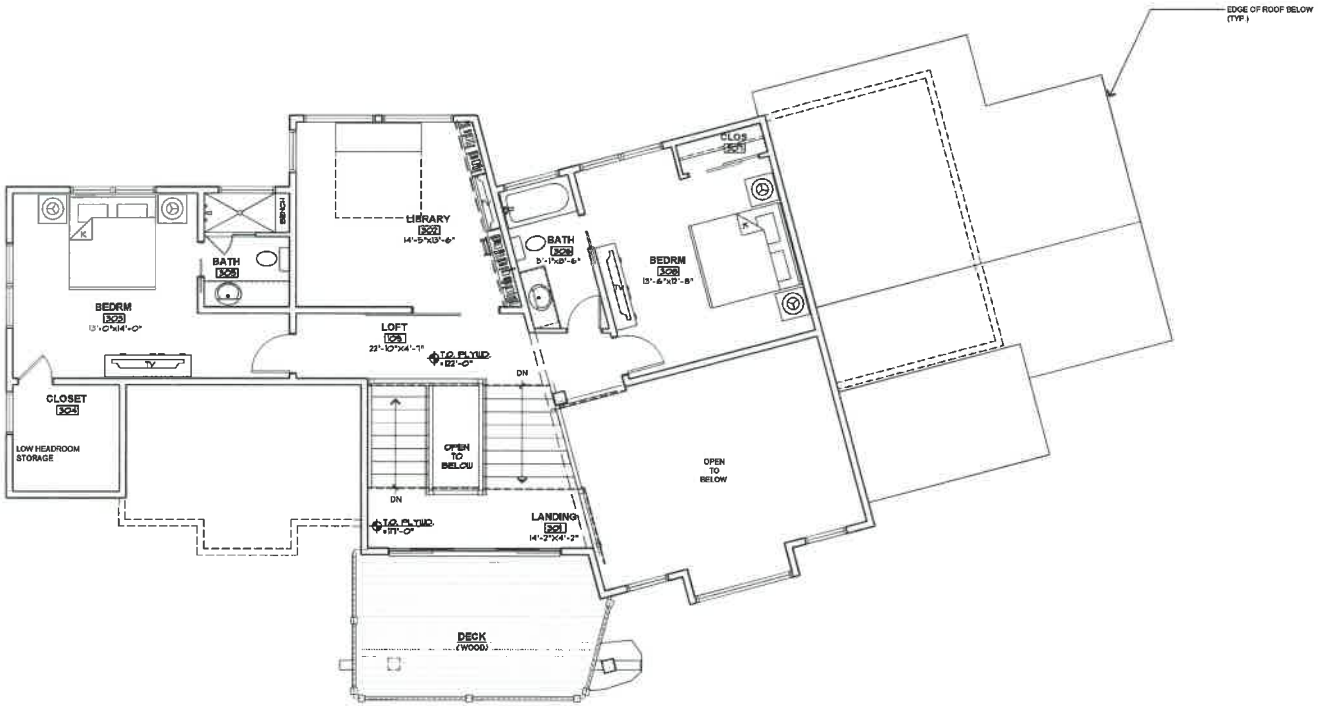
KIM'S WAY - SELSTROM RESIDENCE

930 WHISPERING PINES CIRCLE, LOT 51A TIMBER CREEK ESTATES BLUE RIVER, COLORADO

SHEET NUMBER:

A1.2

MAIN LEVEL PLAN



UPPER LEVEL PLAN

SCALE: 1/4" = 1'-0"

591 FINISHED SQ. FT.

0' 2' 4' 8'

NORTH

PRELIMINARY NOT FOR CONSTRUCTION

REVISIONS:

JOB NO: 11039
DATE: 03-25-22
DRAWN BY: T. SHAFFER
CHECKED BY: M. HOGAN

ISSUED FOR:
SKETCH PLAN REVIEW
03-25-22

bhh Partners
P.O. BOX 623 150 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-6580

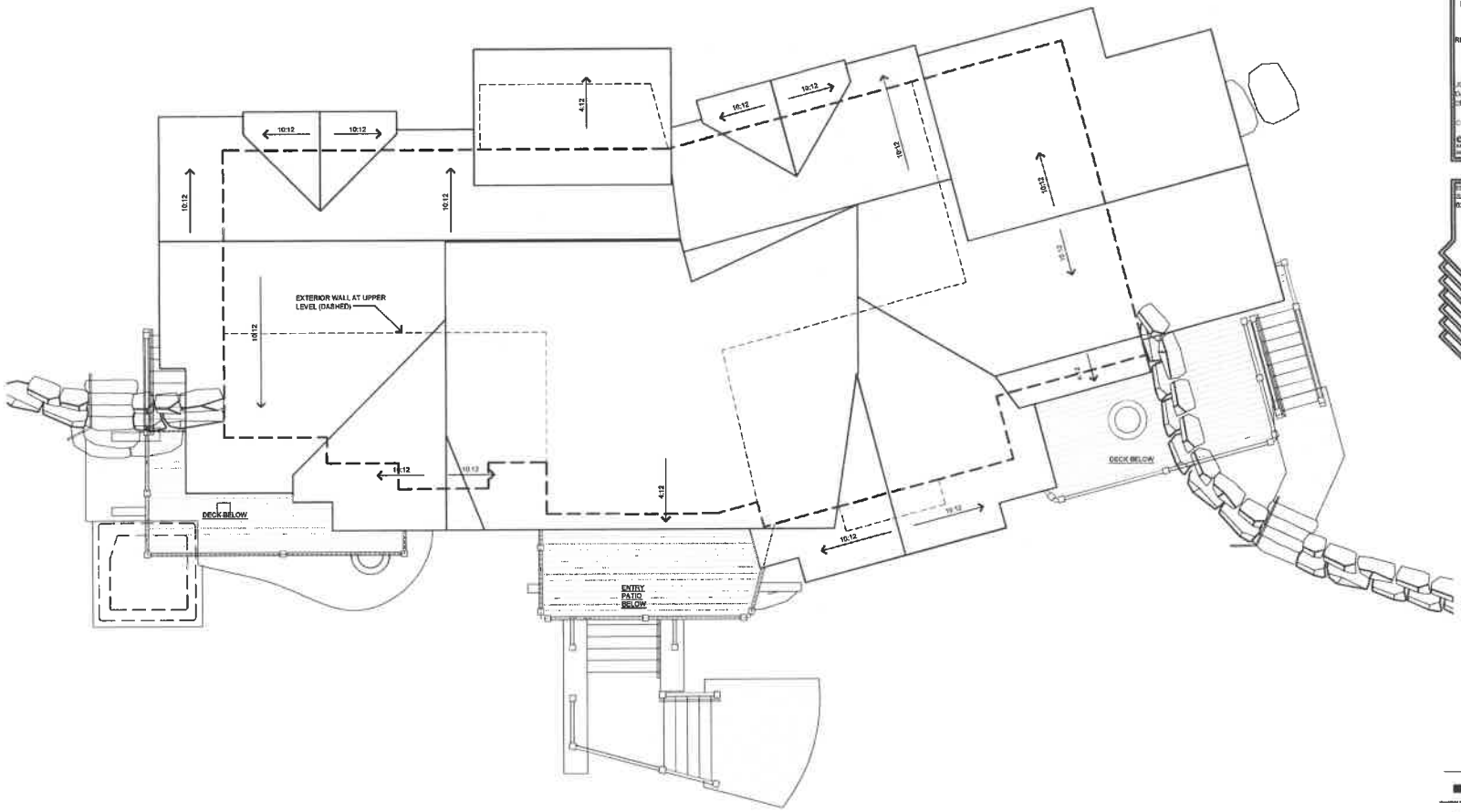
KIM'S WAY - SELSTROM RESIDENCE

520 WHISPERING PINES CIRCLE, LOT 51A TIMBER CREEK ESTATES BLUE RIVER, COLORADO

SHEET NUMBER:

A1.3

UPPER LEVEL PLAN



ROOF PLAN

SCALE: 1/4" = 1'-0"

0' 2' 4' 8'

NORTH

PRELIMINARY NOT FOR CONSTRUCTION

REVISIONS:

JOB NO: 11038
DATE: 03-25-22
DRAWN BY: T. SHAFFER
CHECKED BY: M. HOGAN

ISSUED FOR SKETCH PLAN REVIEW 03-25-22

bhh Partners
P.O. BOX 931 100 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-5880

KIM'S WAY - SELSTROM RESIDENCE

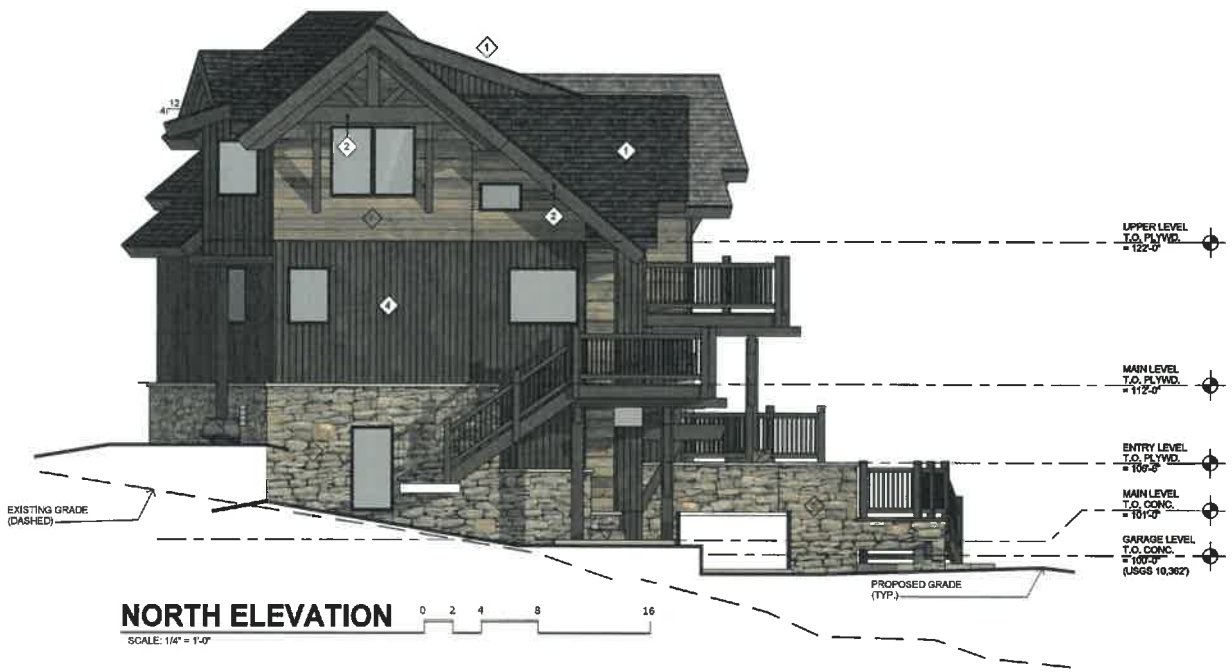
533 WHISPERING PINES CIRCLE, LOT 31A TIMBER CREEK ESTATES BLUE RIVER, COLORADO

SHEET NUMBER:

A1.4
ROOF PLAN

WEST ELEVATION

SCALE: 1/4" = 1'-0"



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

MATERIAL LEGEND

1 SHINGLE ROOFING	
2 FASCIA & BEAMS	
3 WINDOW CLADDING	
4 VERTICAL SIDING & SOFFITS	
5 HORIZONTAL SIDING	
6 SURFACE STONE	
7 METAL ROOFING	

NOTE: MATERIALS ARE TYPICAL FOR ALL ELEVATIONS, REFER TO ASSOCIATED COLOR BOARD FOR ADDITIONAL INFORMATION

Please provide further clarification of the specific materials and colors.

PRELIMINARY NOT FOR CONSTRUCTION

REVISIONS:

JOB NO:	11036
DATE:	03-25-22
DRAWN BY:	C. ECKEL
CHECKED BY:	M HOGAN

ISSUED FOR:
SKETCH PLAN REVIEW
03-25-22

bhh Partners
P.O. BOX 931 150 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-8680

SELSTROM RESIDENCE

830 WHISPERING PINES CIRCLE, LOT 31A, TIMBER CREEK ESTATES BLUE RIVER, COLORADO

A2.1
BUILDING ELEVATIONS

EAST ELEVATION

SCALE: 1/4" = 1'-0"

0 2 4 8 16

MATERIAL LEGEND	
1 SHINGLE ROOFING	
2 FASCIA & BEAMS	
3 WINDOW CLADDING	
4 VERTICAL SIDING & SOFFITS	
5 HORIZONTAL SIDING	
6 SURFACE STONE	
7 METAL ROOFING	

NOTE: MATERIALS ARE TYPICAL FOR ALL ELEVATIONS, REFER TO ASSOCIATED COLOR BOARD FOR ADDITIONAL INFORMATION

Please provide further clarification of the proposed materials and colors.

SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

0 2 4 8 16

PRELIMINARY
NOT FOR
CONSTRUCTION

REVISIONS:

JOB NO: 11038
DATE: 03-25-22
DRAWN BY: C. EDKEL
CHECKED BY: M. HOGAN

ISSUED FOR:
SKETCH PLAN REVIEW
03-25-22

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P.O. BOX 681 | 190 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-5990

SELSTROM RESIDENCE
830 WISPERING PINES CIRCLE, LOT 31A TIMBER CREEK ESTATES BLUE RIVER, COLORADO

A2.2
BUILDING ELEVATIONS

3D MODEL SHOTS

NOT TO SCALE

PRELIMINARY NOT FOR CONSTRUCTION

REVISIONS:

JOB NO: 11036
DATE: 03-25-22
DRAWN BY: jloudwiper
CHECKED BY: shogan

ISSUED FOR:
SKETCH PLAN REVIEW
03-25-22

bhh Partners
P.O.BOX 931 150 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-4580

KIM'S WAY - SELSTROM RESIDENCE

523 WHISPERING PINES CIRCLE, LOT 51A TIMBER CREEK ESTATES BLUE RIVER, COLORADO

SHEET NUMBER:

A2.3