



**Agenda**  
**TOWN OF BLUE RIVER**  
**PLANNING AND ZONING COMMISSION REGULAR MEETING**  
**July 5, 2022**

**0110 Whispering Pines, Blue River, CO 80424**

Applicants and residents may attend via Zoom or in person. The Zoom link is below.

[Planning & Zoning | Town of Blue River \(colorado.gov\)](https://www.colorado.gov/planning-zoning/town-of-blue-river)

- I. Call to Order**
- II. Roll Call**
- III. Approval of Minutes-June 7, 2022**
- IV. Project Reviews**
  - a. 0171 Blue Rock, Garage**
- V. Member Vacancy**
- VI. Next Meeting August 2, 2022**









**Minutes**  
**TOWN OF BLUE RIVER**  
**PLANNING AND ZONING COMMISSION REGULAR MEETING**  
**June 7, 2022**  
**0110 Whispering Pines, Blue River, CO 80424**

**I. Call to Order**

- Chair Johnson called the regular meeting of the Planning and Zoning Commission to order at 6:00 p.m.

**II. Roll Call**

- Bevan Hardy
- Tim Johnson
- Doug O'Brien
- Troy Watts

Ben Stuckey was absent. Travis Beck was excused. Also present: Board Liaison Noah Hopkins; Town Manager Michelle Eddy.

**III. Approval of Minutes-May 3, 2022**

- Watts moved and Hardy seconded to approve the minutes of May 3, 2022. Motion passed unanimously.

**IV. Project Reviews**

- **0120 Blue Rock-Addition**
  - Manager Eddy presented the project noting report from the Plan Reviewer.
  - O'Brien moved and Hardy seconded to approve the addition at 0120 Blue Rock. Motion passed unanimously.
- **0498 97 Circle-New Construction**
  - Manager Eddy presented the project noting report from the Plan Reviewer.
  - O'Brien moved and Watts seconded to approve the new construction at 0498 97 Circle. Motion passed unanimously
- **0107 Rivershore-New Construction**
  - Manager Eddy presented the project noting report from the Plan Reviewer.
  - Watts moved and O'Brien seconded to approve the new construction at 0107 Rivershore. Motion passed unanimously



- **0066 Conifer-New Construction**
    - Manager Eddy presented the project noting report from the Plan Reviewer.
    - Discussion that a letter from the Corps of Engineers will be necessary and discussion about allowing 14' driveway for fire department access. Discussion to allow for safety reasons. It was noted to change the roof color.
    - Hardy moved and O'Brien seconded to approve the new construction at 0066 Conifer. Motion passed unanimously
  - **0038 Rock Springs-Garage**
    - Manager Eddy presented the project noting report from the Plan Reviewer. It was noted this was previously approved but approval expired before permit was pulled.
    - Watts moved and O'Brien seconded to approve the garage at 0038 Rock Springs. Motion passed unanimously
- V. Member Vacancy**
- Manager Eddy reported there is a vacancy on the Commission as the Board of Trustees voted to remove Jonathan Heckman for attendance issues.
- VI. Other**
- Watts requested to have the driveway 12' requirements reviewed and work with Red, White and Blue to obtain input and information on recommendations on the agenda for July.
  - Discussion to also address buck rail fencing and requirements.
- VII. Next Meeting July 5, 2022**
- There being no further business before the Planning and Zoning Commission, Commissioner Hardy moved and Commissioner Watts seconded to adjourn the meeting at 6:49 p.m.

Respectfully Submitted:  
Michelle Eddy, MMC/CPM  
Town Clerk





## Building Permit Application

Email to: [info@townofblueriver.org](mailto:info@townofblueriver.org)

Questions? Call (970) 547-0545 ext. 1

Lot Number: 29 R Subdivision: BLUE ROCK SPRINGS  
Blue River Physical Address: 171 BLUE ROCK DRIVE

### Homeowner Information:

Name: JOHN RANSBERGER  
Mailing Address: P.O. BOX 2133 FRISLO, CO 80443  
Phone: (970) 389-4002  
Email: JOHNSBERGER96@GMAIL.COM

### Contractor Information

Company Name: TO BE SELECTED  
Contact Name: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_  
Phone: \_\_\_\_\_  
Email: \_\_\_\_\_

Contractor Registration #: \_\_\_\_\_

*\*\*Please note a Town of Blue River Business License is required for all businesses to conduct business in the Town of Blue River including contractors, sub-contractors and architects. \*\**

### Description of Project:

DETACHED GARAGE ADDITION  
25' x 32' 800 SF

Distance to Property Line	Type of Heat: <u>PROPANE UNIT</u>	Construction Type: <u>1/V</u>
North: <u>30'-6"</u>	Roof: <u>ASPHALT COMPOSITE</u>	Building Height: <u>24'-6"</u>
South: <u>52'-6"</u>	Exterior Walls: <u>2x6</u>	No. Stories: <u>1</u>
East: <u>97'-4 1/2"</u>	Interior Walls: <u>N/A</u>	Total # Bedrooms: <u>N/A</u>
West: <u>83'-2"</u>	Basement Fin. Sq.Ft.: <u>N/A</u>	Total # Bathrooms: <u>N/A</u>
New Addition/Res. Sq.Ft.: <u>800</u>	Main Level Sq.Ft.: <u>N/A</u>	Septic or Sewer: <u>N/A</u>
Garage Sq.Ft.: <u>800</u>	2nd Level Sq.Ft.: <u>N/A</u>	
Total Square footage: <u>800</u>	3rd Level Sq.Ft.: <u>N/A</u>	

SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL, PLUMBING, HEATING, VENTILATION WORK, & FIREPLACES. THIS PERMIT BECOMES NULL AND VOID IF CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN \_\_\_\_ OR IF CONSTRUCTION IS SUSPENDED OR ABANDONED FOR A PERIOD OF \_\_\_\_ AT ANY TIME AFTER WORK IS COMMENCED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. I AGREE TO COMPLY WITH ALL TOWN ORDINANCES AND STATE LAWS REGARDING BUILDING CONSTRUCTION AND TO BUILD ACCORDING TO THE APPROVED PLANS. THE GRANT OF A PERMIT DOES NOT PRESUMED TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

Signature of Owner or Contractor: \_\_\_\_\_

RANSBERGER  
ARCHITECT

Date: \_\_\_\_\_

6/10/22



## Submittal Requirements

**\*\*ALL Submittals Must be Electronic\*\***

Emailed to: [info@townofblueriver.org](mailto:info@townofblueriver.org)

### Planning & Zoning Review Submittal Requirements

**\*\*Please indicate via check box item included as well as page number in submitted packet.**

Completed <input checked="" type="checkbox"/>	Item	Description	Page #
<input checked="" type="checkbox"/>	<b>Site Plan</b>	Scale: 1" = 10'; May appear on a single sight plan. IF on a separate page, please indicate the page.	<i>A1</i>
<input checked="" type="checkbox"/>		Property Boundaries	<i>A1</i>
<input checked="" type="checkbox"/>		Building Envelope with setbacks	<i>A1</i>
<input checked="" type="checkbox"/>		Proposed Buildings	<i>A1</i>
<input checked="" type="checkbox"/>		Structures (existing & proposed)	<i>A1</i>
<input checked="" type="checkbox"/>		Driveway & Grades	<i>A1</i>
<i>N/A</i>		A wetlands delineation & Stream crossing structures where applicable.	<i>N/A</i>
<input checked="" type="checkbox"/>		Topographic survey, prepared and stamped by a licensed surveyor, indicating site contours at 2' intervals, easements, and significant natural features such as rock outcroppings, drainages and mature tree stands.	<i>A1</i>
<input checked="" type="checkbox"/>		Transformer & vault location (if installed by owner or existing)	<i>A1</i>
<input checked="" type="checkbox"/>		Well location; septic if applicable	<i>A1</i>
<input checked="" type="checkbox"/>		Snow storage areas and calculations	<i>A1</i>
<input checked="" type="checkbox"/>		Major site improvements	<i>A1</i>
<input checked="" type="checkbox"/>		Existing & proposed grading & drainage	<i>A1</i>
	<b>Landscaping Plan</b>	*May be included in the site plan**	
<input checked="" type="checkbox"/>		Landscaping must indicate tree removal for defensible space requirement; any trees 6" or more primarily noting the removal of any ponderosa pines or large trees. Clear cutting of a site is not allowed.	<i>A1</i>
<i>N/A</i>		Indicate the percentage of trees removed and revegetation to be conducted.	<i>A1</i>
<input checked="" type="checkbox"/>		Upon completion of the construction project, all land must be raked and	<i>A1</i>



✓		reseeded with native seed prior to issuance of CO. in cases of completion during snow coverage and/or winter, CO may be issued with conditions for completions within 60 days of the last snow and a deposit.	A1
✓		Any major structures (retaining walls; fences; landscaping rocks) must be indicated in detail on plans in conformance with the design regulations.	A2-A3
✓		Indicating building walls, floors and roof relative to the site, including existing and proposed grades, retaining wall and proposed site improvements.	A1
	<b>Floor Plans</b>	Scale 1/8" = 1'	
✓		Indicate the general layout of all rooms, approximate size, and total square footage of enclosed space for each floor level.	A2
	<b>Exterior Elevations</b>	Scale same as floor plans	
✓		Detail to indicate the architectural character of the residence, fenestration and existing and proposed grades. Elevations must include a description of exterior materials and colors.	A3
✓	<b>Roof Plan</b>	Scale same as floor plans	A2
✓		Indicate the proposed roof pitch, overhang lengths, flue locations, roofing materials and elevations of major ridge lines and all eave lines.	A3
✓	<b>Materials Sheet</b>	Display materials to be used. Color renderings are suggested as well. In cases of additions, if matching the existing structure, photos of current home.	







# Ransberger Garage

LEGAL DESCRIPTION

Lot 29R, Blue Rock Springs Subdivision -  
Amended Blue River Estates  
The Town of Blue River, Colorado

SHEET INDEX

A1

Garage Floor Plan, Roof Plan &  
Mechanical / Electrical Plan

A2

Garage Foundation, Garage Roof Framing Plan  
General Structural Notes, Structural Details

HEIGHT DATA

Garage Level: 10000.0 ± 0.5' 9.962 ± 0.5'

Atic Level: 11549.0 ± 0.5' 9.961 ± 0.5'

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SURVEY LEGEND

FOUND REBAR & CAP (P.L.S. 9024)

FOUND REBAR & ALUMINUM CAP (P.L.S. 36524)

WELL

UTILITY POLE

OVERHEAD UTILITY LINE

DATE OF FIELD SURVEY: 5/12/2021

CONTOUR INTERVAL=2 FEET

PROJECT TEAM

ARCHITECT

Equinox Architecture LLC  
P.O. Box 6217  
Breckenridge, CO 80424  
(970) 453-9619  
info@equinoxarchitecture.com

STRUCTURAL ENGINEER

Swanquist Design Group  
P.O. Box 676  
Breckenridge, CO 80424  
(970) 453-2222  
info@swanquistdesign.com

SOILS ENGINEER

To Be Determined  
P.O. Box 699  
Silverthorne, CO 80498  
(970) 465-6231

PROJECT NOTES

1. ALL ELEVATIONS ARE IN FEET AND DECIMALS THEREOF.

2. THE GARAGE FLOOR FINISH IS 10000.0 ± 0.5'.

3. THE GARAGE ROOF FINISH IS 11549.0 ± 0.5'.

4. THE GARAGE FOUNDATION IS 10000.0 ± 0.5'.

5. THE GARAGE ROOF FRAMING IS 11549.0 ± 0.5'.

6. THE GARAGE MECHANICAL/ELECTRICAL IS 11549.0 ± 0.5'.

7. THE GARAGE GENERAL STRUCTURAL NOTES, STRUCTURAL DETAILS ARE 11549.0 ± 0.5'.

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LOT 29R  
0.65 ACRES  
28.481 SF  
0171 BLUE ROCK DR.

LOT 28R

LOT 30R  
ADJACENT HOUSE

EXISTING WOOD FRAMED HOUSE

PROPOSED GARAGE

CONCRETE CARPORT

NEW RECYCLED ASPHALT DRIVEWAY (10000.0)

GRAVEL DRIVEWAY (AS FLOORED)

GRAPHIC SCALE

1"=10'

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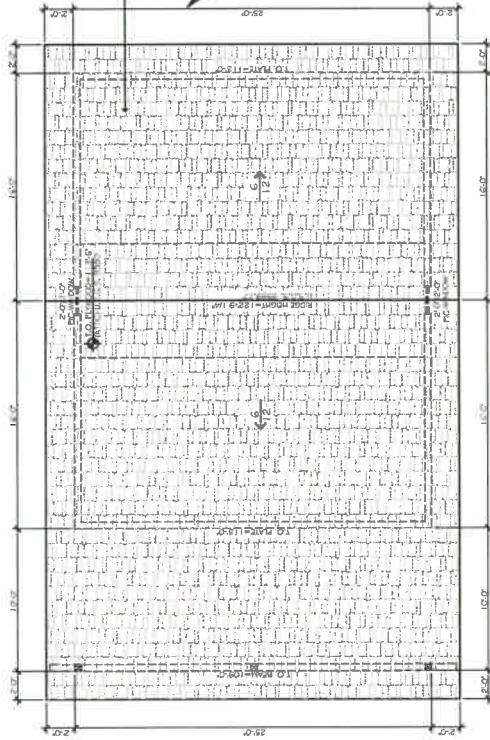
1. The set of drawings contained within constitutes a "Whole" Set only. The Contractor shall be responsible for all existing conditions, project conditions, finishes and details to complete the project per "Construction Industry Standards" and the "Standard Specifications for Highway Construction" published by the EQUITON Architectural LLC. They may not be updated, abridged or reproduced without the expressed written consent of EQUITON Architectural LLC.
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6. Contractor shall follow all Town of Blue River construction guidelines.
7. Due to harsh winter conditions, roof and deck surfaces may be maintained relatively free of ice and snow in order to mitigate any possible problems with the construction. The Contractor shall be responsible for any and all prior omissions and errors.
8. Prior to construction start (do not scale drawings) and notify Architect of any discrepancies.
9. Floor elevations are given to top of concrete slabs and / or finished decking.
10. All dimensions are in four positions only and should be recalculated for any other directions.

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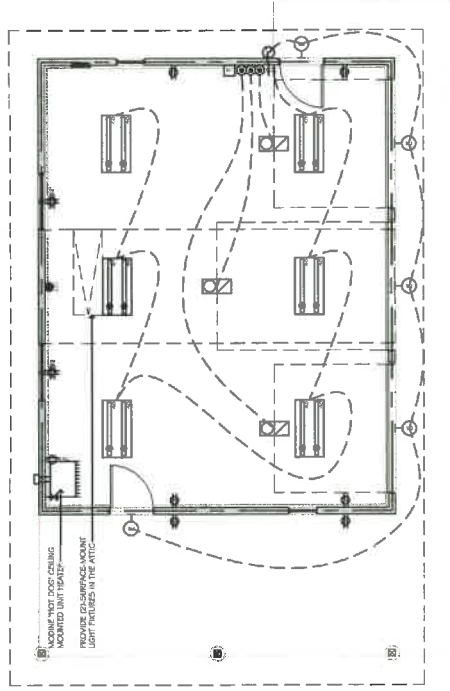
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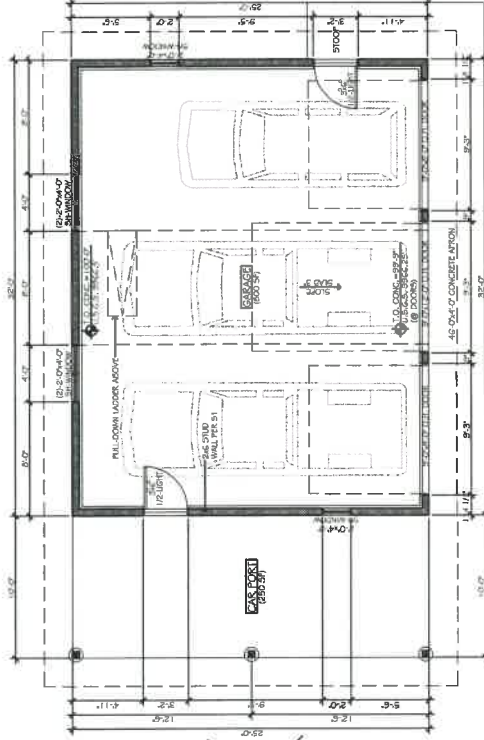
GRAPHIC SCALE



ATTIC AREA 200 SF  
ROOF AREA 1334 SF



MECHANICAL / ELECTRICAL PLAN

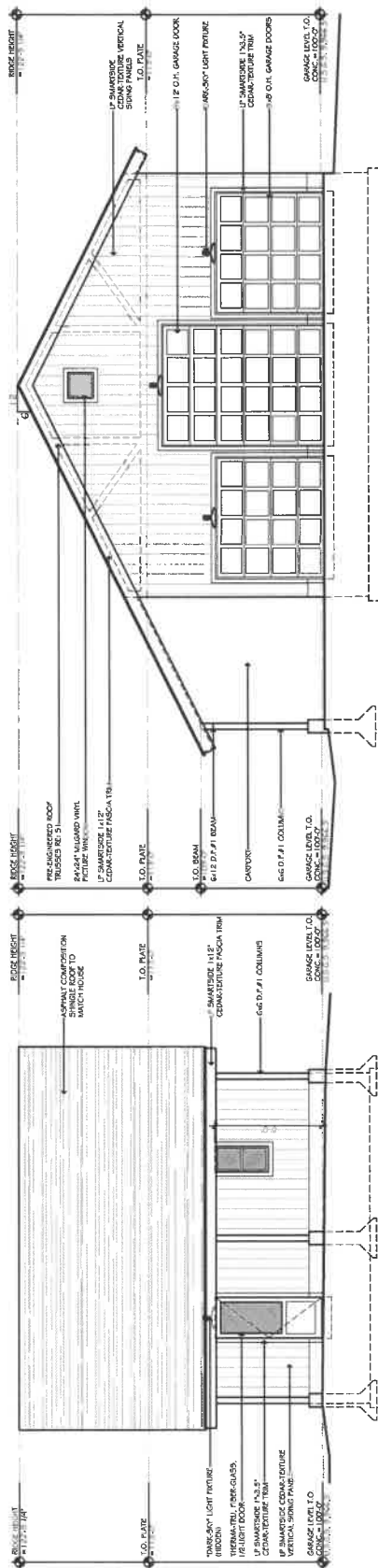


# GARAGE FLOOR PLAN



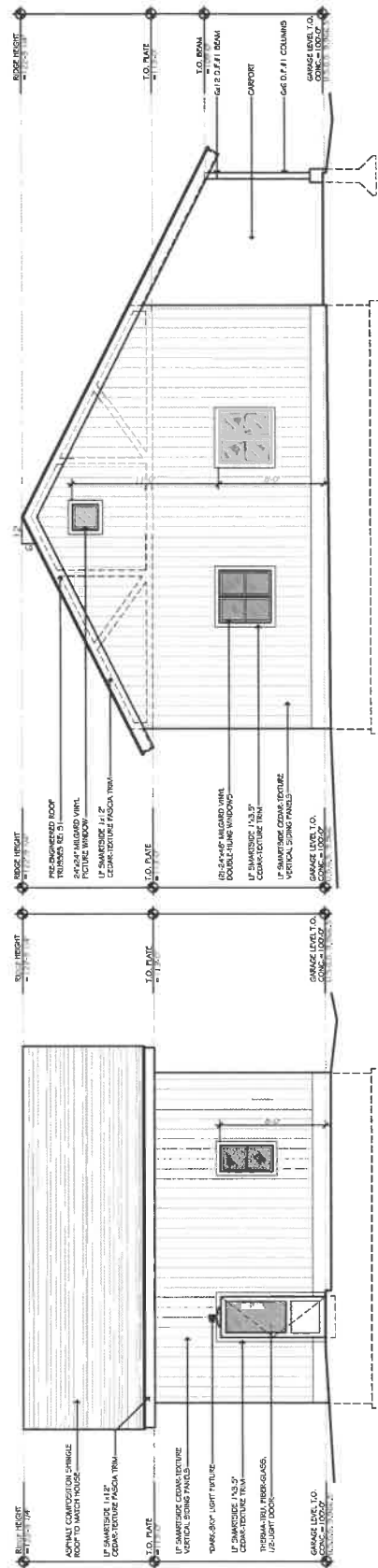


## SOUTHWEST ELEVATION



**NORTHWEST ELEVATION**

**NORTHEAST ELEVATION**

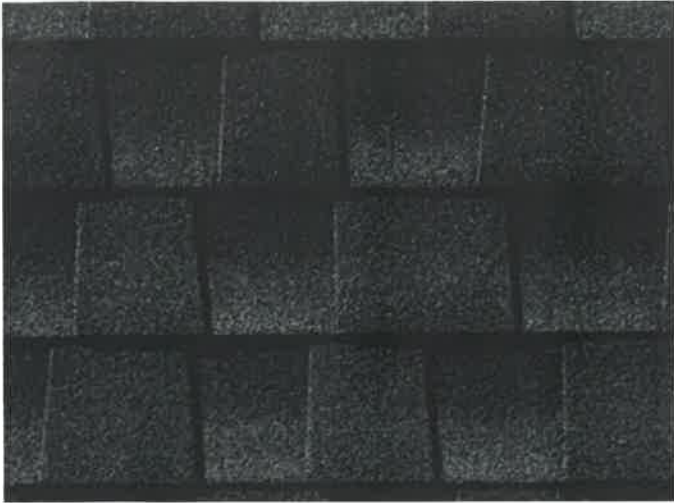


## SOUTHEAST ELEVATION









Composition Roofing:  
GAF Timberline "Charcoal"



Composite Soffit Panels:  
LP Smartside Cedar Texture "Mountain Lion"



Vertical Composite Siding Panels:  
LP Smartside Cedar Texture Panel "Terra Brown"



Composite Trim:  
LP Smartside Cedar Texture "Deep Sierra"



Exterior Light Fixtures:  
Kichler 49990 "Bronze"

Materials & Colors  
Ransberger Garage #17022  
Equinox Architecture LLC 6/8/22







# LOT 29R, BLUE ROCK SPRINGS SUBDIVISION - AMENDED

## BLUE RIVER ESTATES

TOWN OF BLUE RIVER, SUMMIT COUNTY, COLORADO

LOT 44

LOT 29R

28,401 sq. ft.  
Address: 0171 Blue Rock Dr.

LOT 42

LOT 30R

LOT 28R

LOT 31

LOT 27



### LEGEND

- FOUND REBAR & CAP (PLS 9024)
- ◊ FOUND REBAR AND ALUM CAP PLS 30268
- WELL
- UTILITY PEDESTAL
- ⊗ UTILITY POLE
- OVERHEAD UTILITY LINE

ROYAL PACER MS 13638

RIVER EASEMENT (AS SCALED)

WOOD FRAME HOUSE

GRAVEL DRIVE (AS-PLANNED)

GRAVEL DRIVE (AS-PLANNED)

GRAVEL DRIVE (AS-PLANNED)

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GRAVEL DRIVE (AS-PLANNED)

GRAVEL DRIVE (AS-PLANNED)



Drawn: KIM/SBY	Eng: 2004/07 JMD	2008	Sheet 1 of 1
Checked: JBY	Date: 03/12/2007		
R-A-N-G-E-S-T ENGINEERS & SURVEYORS, INC.			
P.O. Box 589 Silverthorne, CO 80498 970-468-6291			







TO: Michelle Eddy, CMC/CPM - Town Manager/Clerk  
FROM: Thomas Marshall, Plan Reviewer - CAA  
DATE: June 28, 2022  
RE: Planning/Zoning/Architectural Guidelines review –  
0171 Blue Rock drive

Below please find staff's analysis that outlines the review with the Town's Zoning regulations and adopted Architectural Design Guidelines for the structure proposed at 0171 Blue Rock Drive.

**Zoning Regulation analysis –**

Proposal: Detached 800 S.F. 3 vehicle bay garage with a 250 S.F. single bay carport.

Zoning  
district: R-1

Lot Size: 28,481 S.F. Actual  
80,000 S.F. Required– Existing Non-Conforming

Lot Width: ~314'  
100 ft. REQUIRED - COMPLIES

Setbacks: Proposed structure complies with required setbacks based upon submitted docs.

Height: Complies with required height limitations with a proposed roof height of 23.69'

Garage Stds: The proposed enclosed garage is ~800 S.F. with an additional covered carport of ~250'. The detached garage and carport is set to the side and behind the front primary walls of the home. (SEE COMMENTS)



Parking Std's:        Parking requirements shall be met through the proposed garage and exterior parking. (SEE COMMENTS)

**Architectural Design Guideline analysis -**

Please note the following key to the interpretation of the analysis table:

Y	Element is in substantial compliance with the design guidelines
N	Does not comply with the design guidelines
	Requires additional information from applicant
N/A	Not Applicable to the application

STANDARD	NOTES/REMARKS	SUBSTANTIAL COMPLIANCE
<b>DEVELOPMENT STANDARD</b>		
VI. B. Building Envelope	The proposed structure is properly sited within required setbacks. <b>An existing non-conforming shed is identified outside the building envelope.</b>	
VI. C. Building Siting	Structure is proposed in context with natural drainage patterns, contours, and landforms.	Y
VI. D. Grading and Drainage	Cut and fill slopes have been kept to a minimum and final grading is proposed to avoid unnaturally broad, flat surfaces.	Y
VI. E. Driveways	A 15' wide recycled asphalt driveway is proposed as an extension to the existing gravel driveway to serve the new garage. Snow storage areas are depicted off the driveway area and meet the minimum required area. <b>The maximum allowed driveway width is 12'. Proposed methods for storm drainage and general direction of flow away from both structures, the slope and cross slope of the driveway extension are required and will be evaluated at building plan review for compliance.</b>	N
VI. F. Parking / Garages	The proposed detached 800 S.F., 3 vehicle bay garage complies. <b>The proposed 250 S.F. carport is prohibited.</b>	N



VI. G. Exterior Equipment and Satellite Dishes	All identified equipment is existing and appears to be in general conformance. <b>The overhead electrical drop will be reviewed for clearance above the driveway at building plan review.</b>	
VI. H. Easements and Utilities	Road access easement is identified on plans	Y
VI. I. Recreation Facilities	None identified on the plans.	N/A
VI. J. Signage	None identified on the plans. Existing home.	N/A
VI. K. Pathways /Walkways	A 4' wide concrete apron is proposed on 3 sides of the garage.	Y
VI. L. Wetlands	No wetlands are identified on the plan.	N/A
VI. M. Wildfire Regulations	Many of the required regulations are operational requirements post-construction. A statement of compliance is noted on the site plan.	Y
<b>ARCHITECTURAL GUIDELINES</b>		
VII. B. Building Forms	Proposed foundation walls merge with the existing grade.	Y
VII. C. Setbacks	The identified exterior parking is set within the building envelope.	Y
VII. D. Building Height	Building complies with zoning district requirements.	Y
VII. E. Roofs	Primary roof slopes are 6:12 which is consistent with the suggested standards of 4:12 – 12:12 for primary roofs. The proposed roof cover is a GAF composition shingle "Charcoal" to match the existing home. <b>Design consideration should be given to the SE side door location due to the potential for snow shedding upon pedestrians.</b>	



VII. F. Exterior Wall Materials	LP Smartside Cedar-Textured vertical siding panels. <b>Photographs of the principal home were not provided, and it is not noted if the proposed colors and materials will match the existing home.</b>	
VII. G. Exterior Trim	Proposed exterior composite LP Smartside Cedar-textured trim stained "Deep Sierra". <b>Photographs of the principal home were not provided, and it is not noted if the proposed colors and materials will match the existing home.</b>	
VII. H. Windows and Doors	Windows, doors, and garage doors are proportional to the structure appear in general compliance. <b>Photographs of the principal home were not provided, and it is not noted if the proposed colors and materials will match the existing home.</b>	
VII. I. Balconies and Railings	No railings, balconies or exterior stairs are proposed.	N/A
VII. J. Chimneys and Roof Vents	No chimneys proposed.	N/A
VII. K. Exterior Colors	<b>Photographs of the principal home were not provided, and it is not noted if the proposed colors and materials will match the existing home.</b>	
VII. L. Solid Waste Collection and Service Areas	Exisiting	Y
<b>SITE ELEMENTS</b>		
VIII. A. Retaining Walls, Landscape Walls, Fences, and Screening	None proposed	N/A
VIII. B. Terraces, Patios, Walkways and Decks	The 4' wide concrete apron on 3 sides of the proposed garage complies.	Y



VIII. C. Driveway Paving Surfaces	Proposed new recycled asphalt driveway and parking area	Y
VIII. D. Exterior Landscape Lighting	Exterior lighting specifications were included	Y
IX. Construction Management Plan	A Construction Management Plan was not provided. Please provide at Building Plan Submittal	N



